

Name of Applicant: Eiona Gronadona

Address of Applicant: 42 Beveridge Street  
CHRISTCHURCH 8013

Location of Activity: 2 Wakatu Quay  
KAIKOURA 7300

Legal Description: lot 2 DP 3886

(from your rates notice)  
Valuation Number: \_\_\_\_\_  
(from your rates notice)

Telephone Number: (Home) \_\_\_\_\_ (Work) 027 8180020

To be contacted by email; please provide address:

Email: egronadona@btinternet.com

Are additional Resource Consents Required From Other Consent Authorities? Yes  No

If yes, which consents are required? \_\_\_\_\_

If consent has been granted please attach a copy of consent.

**Information to be supplied on all applications:**

- All required information as per the attached information sheet.
- Written approvals from all potentially affected parties. Please note that the affected parties must sign all plans and/or maps associated with the application and the affected parties' approval form and these have been included. **Please note: all owners and occupiers of a property must sign both approval form and site plans.**

A copy of the Certificate of Title **no** more than six month old for all subject sites.

A Brief Description of activity to which the application relates (use separate sheet if necessary)

see attached

\_\_\_\_\_  
\_\_\_\_\_

**Fees**

I enclose the base fee as indicated below and I understand that I will be invoiced for any additional actual costs relating to this application:

	All Prices Include GST and are subject to Additional actual costs.
<p><b>Land Use Consents</b></p> <p><b>Category 1</b> – Non-notified Lane Use Resource Consent delegated to Council offices as follows.</p> <ol style="list-style-type: none"> <li>1. Non compliance with the following performance standards of no more than 20%                             <ul style="list-style-type: none"> <li>- Internal boundary or Road setback</li> <li>- Recession Plane</li> <li>- Site Coverage</li> <li>- Height</li> <li>- Density</li> </ul> </li> <li>2. Visitors accommodation for up to 4 persons</li> <li>3. Relocate buildings</li> <li>4. Buildings in a flood area (the discretionary activity)</li> </ol> <p><b>Category 2</b> – Non-Notified Land Use Base Fee</p> <ul style="list-style-type: none"> <li>- Building in a flood hazard area</li> <li>- Earthworks or modification with an archaeological area or site</li> <li>- Temporary activities.</li> </ul>	<p>\$700</p>
<p><b>Category 3</b> – All other non-notified land use consent applications not listed above.</p> <p>If an application requires a hearing</p>	<p>Base Fee \$900 plus any additional cost if any</p> <p>An additional base fee of \$5500 plus additional actual costs if any</p>
<p>Rates (visitor's accommodation only)</p>	<p>There is an annual levy of \$400.00 inc. GST for visitor's accommodation for 4 guests or less. This will be added to your next year's rates bill.</p>

**Name & Address of Appointed Agent (if applicable):**

Tania Ross  
809 Red Swamp Road  
Kaikoura 7571

Telephone Number: (Home) 3196543 (Work) \_\_\_\_\_  
 (Cell) 0274826421 Fax No: \_\_\_\_\_

To be contacted by email; please provide address:

Email: tsross76@gmail.com

**NOTE:**

1. The applicant and his/her agent are liable for all fees and charges relating to this application. In the event of non-payment the applicant and/or the agent will be liable for all legal and other costs of recovery.

2. Where this application is completed and signed by an agent, the invoice for the fees will be sent to the agent and all communication regarding the application will be with the agent.

S. Ross  
SIGNATURE OF APPLICANT (OR APPROVED AGENT)

13/12/21  
Date





# LAND USE RESOURCE CONSENT

2 Wakatu Quay, Kaikoura

To undertake a residential activity for the establishment of two one-bedroom dwellings. The residential activity does not meet the minimum density requirements, the minimum boundary set back, exceeds height restrictions and recession planes. Also included in this application – application for consent for visitor accommodation.

**TANIA ROSS**

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## Introduction

It is proposed to undertake a land use activity at 2 Wakatu Quay, Kaikoura, zoned Residential A in the District Plan. The activity proposed is the construction of 2 one-bedroom dwellings. The front dwelling is to be used for visitor accommodation and the rear dwelling is the owners holiday home and to be used occasionally for visitor accommodation. The build does not meet the criteria for density, proposing more than 1 residential unit on 611m<sup>2</sup> of land.

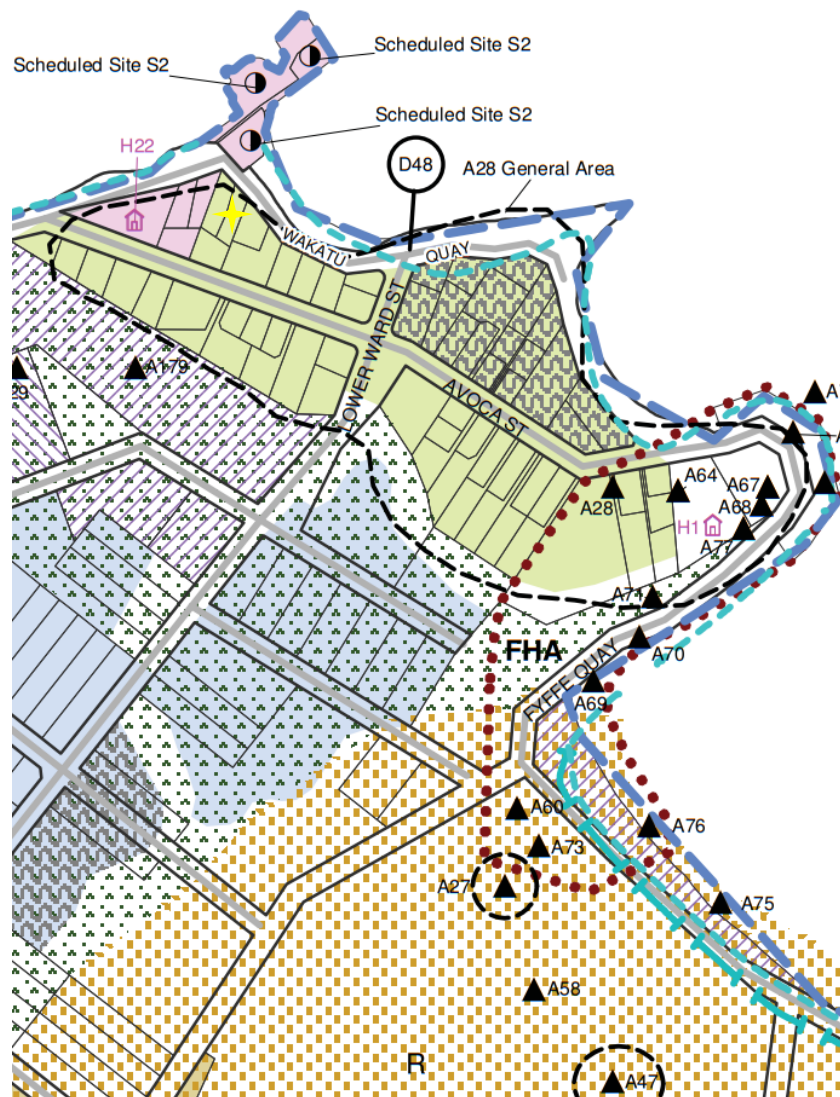
An assessment of environmental effects follows covering exceeding the minimum boundary set back, height restrictions, recession planes and density.

## Description of the site

The site is legally described as Lot 2 DP 3886 and contains some 611m<sup>2</sup> of flat land at 2 Wakatu Quay, Kaikoura. To the north, west and south of the property are residential dwellings. The proposed site plan, floor plan and elevations are attached at appendix A.



There are no outstanding landscape features to note. The Lot is in an Archaeological Area as per the District Plan. Attached is a preliminary archaeological report undertaken by Deb Foster. Deb observes in the report that the front of the property may have been intertidal for part of the Māori occupation sequence however the rear of the property where the lighthouse is to be built has higher chances of archaeological discovery. Deb has recommended that a general archaeological authority is sought for the project and consultation with Te Rununga o Kaikoura. It has been agreed with the Kaikoura District Council that the applicant will undertake both of these recommendations after completing the public notification process. Both the Site Management Protocol (15.8.2) and Accidental Discovery Protocol (15.8.3) will be adhered to for the project.



The land is currently vacant containing no dwellings or outbuildings.



The property has been checked on Environment Canterbury’s Listed Land Use Register and there is no information about Hazardous Activities or Industries on this site. Report attached in appendix C.



*View from south boundary*



*View from northeast boundary*



*View of second dwelling location looking from the west*



*View from the northern boundary*

## Proposed land use

The applicant wishes to build two 1-bedroom dwellings on the site. The proposed construction will result in a breach of the following performance standards as per the District Plan:

<b>Table 18.7 – Relevant Performance Standards</b>	
1. Heavy Trucks	N/A
2. Lighting	Complies
3. Noise	Complies
4. Site Coverage -35%	Complies – total site coverage 27.8%

5. Sky-lining Res B	N/A
6. Height of Building	Does not comply
7 Landscaping (non-residential)	Complies
8. Outdoor living space -70m per residential unit	Complies
9. Density-500m2 per residential unit	Does not comply
10. Recession Planes	Does not comply
11. Internal Boundary Separation 2m from internal boundary	Does not comply
12. Road Boundary Separation-4.5m from road boundary	Complies
14. Water body separation	N/A
15. Separation Height High Voltage	Complies
16 Waste Management (Appendix G) –non-residential only	N/A
Table 12.8.1 - Minimum Parking Space Requirements Residential units 2 spaces per residential unit	Complies

18.7.6 Height – The front dwelling complies with this performance standard. Please refer to plans A2.0 and A2.1 attached at appendix A which depicts that the rear dwellings proposed height is 16.86m

18.7.9 Density - The land area of Lot 2 DP 3886 is 611m<sup>2</sup>, if the proposed construction of 2 dwellings was to be approved this would mean that there would be more than 1 residential unit per 500m<sup>2</sup>.

18.7.10 Recession Planes – Please refer to plan A2.0 attached at appendix A for details of non-compliance. The non-compliance to the front dwelling is very minor, however the lighthouse dwelling falls substantially outside of the recession plane area.

18.7.11. Internal boundary separation – Please refer to plan A1.0 attached at appendix A to see site placements for both dwellings. The front dwelling is 1.2m off the eastern boundary, the internal boundary separation standard is 2m. The front dwelling complies with all other internal and road boundary separation standards. The lighthouse dwelling to the rear of the property is 0.3m off the western boundary at the closest point and 1.2m off the southern boundary. The rear dwelling complies with all other internal and road boundary separation standards.

As part of this application, the applicants would also like to apply for resource consent for visitor accommodation up to 4 guests in each of the proposed dwellings. It is unlikely that there will be this

many guests staying at one time as they are both 1-bedroom dwellings. But the applicant would like to cover all bases and make sure that if a group of 4 applied, then they are able to accommodate them and that they are always in compliance with the Kaikoura District Councils regulations.

An un-restricted discretionary land use consent is sought with the proposal falling outside of the performance standards outlined above.

## Other Relevant Items

### Affected party approval

Enclosed with the application (appendix D) is a signed authority from the following bounding residential neighbours.

- 3 Wakatu Quay – Phillip and Fiona Carr – Owners and Occupants
- 1 Wakatu Quay – Elona Grondona and Deborah Crawford – Owner and Occupier
- 1 Avoca Street – Bernard Harmon

Not bounding but in the district

- 137 Torquay Gaylene Masters – Owner and Occupier

Extensive consultation was undertaken by the owners, a copy of this letter can be found at Appendix D with the signed approvals.

### Affected Order Holders

There are no holders of customary rights order in relation to this property.

## Un-Restricted Discretion

104BDetermination of applications for discretionary or non-complying activities

After considering an application for a resource consent for a discretionary activity or non-complying activity, a consent authority—

(a) may grant or refuse the application; and

(b) if it grants the application, may impose conditions under section 108.

## Permitted Baseline

The consent authority may disregard an adverse effect of the activity if a rule or national environmental standard permits an activity with that effect.

The permitted baseline for this activity would be a residential activity, which complies with the performance standards of the district plan.

The proposal meets most requirements of what can be built of right except for the height, 2.0m internal set back (existing), recession planes (existing) and the density performance standard.

## Policies & Objectives

When considering an application for resource consent and any submissions received, the consent authority must, subject to Part 2, have regard to any relevant provisions of:

- a national environmental standard:
- other regulations:
- a national policy statement:
- a New Zealand coastal policy statement:
- a regional policy statement or proposed regional policy statement:
- a plan or proposed plan

In terms of this application the relevant provisions are those of the Kaikoura District Plan.

The relevance of the objectives and policies and the activity’s consistency with those objectives and policies is assessed as follows:

Objective	Proposal
<p>18.2.1 Objective 1: To provide an essentially low density, small scale residential environment within the Kaikoura urban area with a dominance of open space and planting over buildings, and where the pleasantness and amenity of the residential area is maintained and enhanced.</p>	<p>Despite the non-compliances identified earlier in this report, we believe the proposal is consistent with this objective. The proposal is to build two single bedroom dwellings in a waterfront location in Kaikoura. The applicant could be applying for holiday apartments which cover most of the site and turn over a good income, but the applicant has chosen to construct a character building which is very fitting with the town. Because both dwellings only cover 27.8% of the site, this leaves lots of open space and room to establish gardens and plantings. Although the lighthouse is tall, it would provide a characteristic dwelling for locals and visitors alike to admire. The front dwelling total footprint is 72m<sup>2</sup> (floor slab) and the rear dwelling 69m<sup>2</sup></p>
<p>18.2.2 Policy 2: to maintain the amenity of residential areas by ensuring sufficient on-</p>	<p>This proposal is consistent with Policy 2. Please see the site plan provided – appendix A showing</p>



<p>site parking and manoeuvring areas for vehicles are established.</p>	<p>parking and manoeuvrability for vehicles as required.</p>
<p>18.2.2 Policy 3</p> <p>To ensure that the design and siting of development (building height, building coverage, recession lines, setbacks and provision of outdoor living areas) is controlled so that:</p> <p>(a) development will not unreasonably deny neighbouring properties sunlight, daylight, views</p> <p>(c) an open and attractive scene exists</p> <p>(d) a character and scale of buildings and open space is maintained which is compatible with anticipated the residential environment.</p>	<p>The front dwelling does not comply with the internal boundary setbacks, but this is to make the best use of the long and slim section, allowing ample driveway and parking space to the western side of the section and access to the rear dwelling proposed. It complies in every other way and will enhance the amenity of the area.</p> <p>The lighthouse dwelling falls outside of this policy in the following areas;</p> <p>Building height Recession lines Internal boundary setbacks</p> <p>This is a character building so the scale of the building is not in line with the residential dwellings of the area. However, it has been located on the site to ensure its bounding neighbours are not affected by its height as far as their outdoor living area, views, or shading.</p>
<p>18.2.2 Policy 4 - To ensure noise and lighting spill do not adversely affect the amenity enjoyed on residential sites.</p>	<p>The lighthouse dwelling will be used predominantly as the owner's holiday home so there would be minimal disruption as far as noise and lighting. The positioning on the site has been chosen to not affect any outdoor living space of the bounding neighbours or cause shadowing of their homes. The front dwelling is a single story, 1 bedroom dwelling. Light and noise from this property would be minimal.</p>
<p>18.2.2 Policy 5 - To avoid activities within the residential areas of the Kaikoura urban area which are incompatible with residential activities and to maintain an appropriate level of residential amenity.</p>	<p>The proposed dwellings activities are residential and in keeping with the area. The lighthouse is a character building but still with residential purpose and will make a great attraction in the area especially with the new wharf development. They will have their own outdoor living and parking spaces provided and the project will be done in a way which will enhance the area.</p>
<p>18.2.2 Policy 6 - To avoid or mitigate development which would detract from the</p>	<p>The front dwelling is in keeping with the character, scale, and amenity of the area. The lighthouse building falls outside of these areas. The lighthouse character is in keeping with a</p>

predominant character, scale and amenity of the particular residential environment	coastal town and compliments the amenity as such. However, the scale differs to other residential buildings in its area. It is a large building in height as opposed to footprint.
18.2.2 Policy 7 To promote Council’s “Zero Waste” policy by promoting and encouraging the reduction, reuse and recycling of unwanted materials.	The proposed buildings are consistent with policy 7. Any unwanted materials or waste created in the build will either be reused elsewhere, returned to where they were purchased or recycled at the local recycling centre – Innovative Waste.
18.3.1 Objective 2 - To provide for a diverse range of living environments expressed in built form, density of development and housing types	By permitting the applicant to build the lighthouse dwelling it would be in keeping with this objective. Although it falls outside of the character and scale currently available in the neighbourhood it would add diversity to the area and an attraction to view.
18.3.2. Policy 1 -To enable a mixture of housing styles in residential areas provided the amenity of these areas is not adversely affected.	This project falls under a “mixture” of housing styles. Although it is not exactly in keeping with the residential houses in the area, it is right on the coastline next to the wharf, so the character of a lighthouse is fitting with the amenity of the area.
18.3.2. Policy 2 –To enable higher density development to be established in areas where this is appropriate.	The proposed buildings will increase the density of the property to more than 1 residential unit per 500m2. This will be done in a minor way as each proposed dwelling are only 1-bedroom dwellings and would typically lend itself to 2 guests/occupants, 4 on occasion. Wakatu Quay makes for a very popular visitor area in Kaikoura especially with The Pier Hotel and the new Wharf development. An appropriate area to enable visitor accommodation activities.
18.3.2. Policy 3 - To place no restrictions on building design in residential areas, other than in respect of matters such as recession planes, height, setback and percentage coverage.	Restrictions that apply to this project are recession planes (existing), height, and setbacks.
18.3.2. Policy 4 –To impose height restrictions along waterfront sections to avoid adverse effects on views from houses behind waterfront sections.	The height of the proposed lighthouse dwelling falls outside of this policy which is why the applicant has been advise that there will be a public notification process.

## Application for resource consent under section 88 of the Act

When applying for a resource consent under section 88 of the Act an assessment of environmental effects must be included, in accordance with Schedule 4. Schedule 4(2) requires the following matters to be addressed.

- *Any effects on those in the neighbourhood and, where relevant, the wider community including any socio-economic and cultural effects:*
- *Any physical effects on the locality, including any landscape or visual effects:*
- *Any effects on ecosystems.....*
- *Any effects on natural and physical resources having aesthetic, recreational, scientific, historical, spiritual, or cultural, or other special value for present and future generations:*
- *Any discharge of contaminants into the environment, including any unreasonable emission of noise and options for the treatment and disposal of contaminants:*
- *Any risk to the neighbourhood, the wider community, or the environment through natural hazards or the use of hazardous substances or hazardous installations.*

The subsection (1) of the fourth schedule to the Act lists matters that should be included in an assessment of effects on the environment.

Where it is likely that an activity will result in significant adverse effect on the environment, a description of any possible alternative locations or methods for undertaking the activity.

An assessment of the actual or potential effects on the environment of the proposed activity.

A description of mitigation measures to help prevent or reduce the actual or potential effects.

Identification of the persons affected by the proposal, the consultation undertaken, if any and any response to the views of any person consulted.

### Project

The applicant seeks resource consent to develop a one-bedroom townhouse to the front of the land situated at 2 Wakatu Quay, Kaikoura. This townhouse is to be used for visitor accommodation. The applicant is also seeking consent to develop a one-bedroom lighthouse house at the rear of the property to be for the owners use and occasional visitor accommodation. The front townhouse is a single level dwelling of 72m<sup>2</sup>. The lighthouse dwelling will be provided over four levels in one building, comprising of a total of 69m<sup>2</sup>. Accompanying the development of the built form will be earthworks, landscaping and the provision of access and on-site car parking. Resource consent is sought to allow for non-compliance with the internal boundary setbacks, height standards, density, and recession plane standards. As both buildings are intended to be used for small scale accommodation, resource consent is also sought for visitor accommodation of up to four people in each dwelling. The details of the overall proposal are addressed below.

### Assessment of Environmental Effects

I have set out our assessment of effects under the heading's 'neighbourhood' addressing the neighbourhood where the project is located 'physical effects on the locality/landscape or visual effects' addressing as the heading states 'discharge' addressing servicing and storm water 'risk'

addressing natural hazards and substances; 'amenity' addressing amenity; and 'positive effects' outlining the positive effects the proposed project will have on the area.  
The following is my assessment of actual or potential effects & mitigating measures.

## Neighbourhood

The site is located in Wakatu Quay close to the Wharf development and The Pier Hotel and Restaurant. The rest of the surrounding area is a mix of residential single dwellings, bare land, a block of flats, the Admiral Court Motel, and the Green Dolphin restaurant (not currently operating). Majority of the properties in this area are zoned residential A, except for some Business B land where The Pier Hotel, Green Dolphin Restaurant and Wharf are located. The area lends itself to a good mix of residential activity with commercial operations close by.

The area of Wakatu Quay is located approximately halfway in between the main township of Kaikoura and, the seal colony, a popular tourist destination in Kaikoura. Tourists and locals often drive, walk or bike from town to the seal colony and visit The Pier Restaurant on their way to or from.

The wharf development is a future focused project hoping to provide an area which enables commercial, recreational, and cultural activities. To also assist in showcasing local culture, food, beverage, and hospitality and provide a meeting place to share, enjoy and communicate. We feel that a feature building of a lighthouse which is a house and accommodation would complement this development and the surrounding area nicely. Such feature buildings bring visitors to town or encourage local families out for a walk, ride, or drive in the weekend to go and “see the lighthouse”.

Being located in a picturesque coastal area, it can be reasoned that a lighthouse is fitting with the area as it is nautically themed and something one wouldn't expect to be out of place on a coastline.

The proposal to construct a brand-new town house and a brand-new home/feature building and accommodation, is one that we see as positive for the neighbourhood.

## Wider Community / Socio-economic and cultural effect

As tourism is one of Kaikoura's largest earning industries, it is important that when landowners who are willing to invest into the community, we, as a community support and encourage them to do so. Especially in the current global climate of Covid 19, and the uncertainty that Covid 19 poses to our country and community economically. Looking to the future, the more that Kaikoura has to offer visitors, the greater the benefit for the wider community.

This proposal is unique, as the owners are going for a statement home as opposed to an area built to gain large living space. The lighthouse design is one of passion, created to compliment the coastal environment in which it is being built. It will provide a unique feature for locals and tourists to admire which will be increased by the visitors sure to be attracted by the wharf development.

The site is in an archaeological area meaning that the applicant will be engaging an archaeological consultant to undertake an assessment of the project and property which will then be reviewed by Te Rūnunga o Kaikōura and Historic Places trust. Any recommendations made by entities will be adhered to as well as cultural monitoring of the project when any earthworks are undertaken.



As the dwellings will be offered as small scale yet high-quality short-term accommodation, the applicants would like to provide information in each of the dwellings offering an overview of the history and culture of Kaikoura. The visitors will be able to read about the history of Kaikoura in the documents provided in the accommodation and will be located close to the wharf development which will be rich in information of the history and culture of Kaikoura. Not to mention the Fyfe historic area just down the road.

Tourism provides opportunity to Kaikoura and allows for businesses like cafes, restaurants, gift shops and clothes shops to do a wider trade. The proposed project complements this well. Visitors are often looking for that something different which, they will find in the lighthouse project.

### **Physical effects on the locality/landscape or visual effects**

The front dwelling is a 72m<sup>2</sup> single story, one bedroom townhouse intended for small-scale, short-term holiday accommodation. The applicant intends to provide this dwelling with an indoor garden as well as outdoor living. The dwelling will have a lawn, deck, carport and turning area. This building is of modern design and features a coloursteel roof and Resene Integra AAC Panel and Plaster System. To make the most of the long and slim site and provide room for a driveway providing access to the rear of the property, the cottage is proposed to be 1.2m off the internal western boundary and breaks the recession planes slightly which can be viewed on plan A2.0 provided. Everything will comply with current building requirements and is expected to have no outstanding effects on the locality, landscape, or visual effects.

Significant landscaping will be provided to be of a positive effect to both dwellings and an asphalt driveway will connect the dwellings and provide ample turning space for vehicles.

The back dwelling is a four storey, 1 bedroom dwelling in the shape of a lighthouse. Because of the lighthouse design, this makes the dwelling relatively tall at 16m in height, the maximum height restriction in this area is 8m. Although it is a tall dwelling, it is not wide at height and has been positioned on the site to have minimal to no impact on bounding neighbours shading and views as outlined below. Please refer to the site plan A1.0 attached for a bird's eye view of the proposed dwelling positioned on site. The top story is intended as an observation area, so it is mainly glass, allowing views and light to remain. The observation area is to take advantage of the beautiful Kaikoura night sky. This will be maintained to a high level of cleanliness with the use of magnetic cleaners.

When reviewing the bounding properties, the following is noted:

1 Wakatu Quay – the current location of the dwelling will not be affected by the height of the proposed building as their views are in the opposite direction and the position of sun in daylight hours in relation to the position of the lighthouse mean that the sun travels to the front of the lighthouse in relation to this property. Neighbour approval has been obtained for this property.

3 Wakatu Quay – the proposed lighthouse dwelling sits to the rear of their existing dwelling which is mainly occupied by garaging, 1 bedroom, and small bathroom. As the sun rises in the east, the windows of the rooms upstairs will still get ample morning sun and the living of this property is all

directed to the front of the property where no shading will occur. Neighbour approval has been obtained for this property.

15 Avoca Street – it looks as though there may be some shading and view obstructions to the parking and garaging area. The full effects of this will need to be ascertained through discussion with the homeowner. Referring to the picture provided below, it looks as though their living is directed towards the north to northwest of the property which would receive no sun shading due to the location of the lighthouse and where the sun rises and sets.

8/17 Avoca Street – only a small part of their boundary touches 2 Wakatu Quay. The area of boundary that connects with 2 Wakatu Quay is in the driveway which is a parking and manoeuvring area. There is access to the flats from the parking area, but their frontage is towards Avoca Street. The lighthouse is too far from the flats to cause them shading.

The applicant is aware that their non-compliance with the height restriction and recession plane rules may be of concern to some of the neighbours but would like the lighthouse as it is designed to keep it looking authentic and make it the icon for Kaikoura that it is intended to be. They would like to focus on the positive effects of the proposed dwelling and will be undergoing extensive neighbouring consultation as part of this process to reassure neighbours of the positive aspects of the proposal and that site positioning has been thought out to minimise any possible concerns.



**Immediately bounding neighbours outlined in yellow, 2 Wakatu Quay outlined in red.**

## Discharge

The proposed dwellings will connect to the town water, sewer, and stormwater supply. We see no issue in this area.

## Risk

The location of this property is close to the ocean so there is a risk of inundation from the sea due to a severe weather event or earthquake/tsunami. In November 2016 there was a 7.8 magnitude earthquake in Kaikoura. All the houses in this area handled the earthquake well, all being white stickered after the event and there was no inundation.

The proposed dwellings will not pose any increased risk to those mentioned above.

There are no hazards noted on the property in the Kaikoura District Plan or on Environment Canterbury's listed land use register.

The intended accommodation to be offered is on a relatively small scale making it less likely that any tourism opportunities at this property will result in having an adverse effect on the environment.

Guests will also be advised of the cultural significance of the area.

## Amenity

The proposed dwellings will have a positive effect to the amenity of the area by developing this area of land. The dwellings proposed will both be built to a high standard and the proposed landscaping plan will provide the property with lots of greenery and plantings.

The proposed lighthouse dwelling will encroach on the recession lines and height restrictions however, as this is not a house of "regular design" it is not one that will be easily copied meaning that, if allowances are made in this instance, then precedence is unlikely to be set.

Kaikoura is a coastal town, meaning that seeing a lighthouse along its coastline is not out of character. The fact that the lighthouse is a house will be of fun appeal to many.

The property lends itself nicely to be able to accommodate 2 one-bedroom dwellings. The shape of the site is long and slim meaning there is ample room between the dwellings while still allowing for large outdoor space and making the most of the views to the coast at Wakatu Quay from the single level dwelling. Both dwellings have been designed smartly to make the best use of the shape of the land parcel. 2 parking spaces per apartment are available and a minimum of 70m<sup>2</sup> of outdoor living area per dwelling is also easily available. From an amenity standpoint it will be a highly presented property with a feel of open space. Having the owners able to be onsite more means that security will be higher and short-term accommodation can be offered with less risk of guests being noisy or causing any damage.

The owners will be undertaking extensive neighbour consultation and believe that their bounding neighbours will be excited about the proposal and the amenity their project will offer.

Essentially, breaking this proposal down into simple terms. The proposal is not for an intrusive or hazardous activity. Its purpose is not outside of what is currently in the area. It is a couple who are willing to invest their time and money into a feature project for the community of Kaikoura. Once the Wharf development is finished, this area of town will be regularly frequented by visitors and locals. It was always predicted that with the Pier Hotel and Restaurant, the great landscape and views and the wharf development, that this area would be likely to see enhancing change. The proposed dwelling is positive and fitting with this and will yet again put Kaikoura on the map for embracing its coastal lifestyle. First the craypot, now the lighthouse.

## Positive Effects

The proposed development is to construct 2 brand new, high quality one-bedroom dwellings on the land situated at 2 Wakatu Quay. Both to be available for short term visitor accommodation.

When reading Kaikoura District Councils Long Term Plan, it is interesting to note the following observations:

***Kaikoura's local economy has been estimated to have around 40% of gross domestic product (GDP) reliant upon tourism, and around 50% of the workforce is directly dependent upon visitor spend, while a further 35% support tourism indirectly.***

Following the global pandemic and now two lockdowns for New Zealand, it is imperative to our country and especially to our town, that we encourage any development that landowners are willing to invest.

Kaikoura's benefits from tourism continue to increase as the years pass. We have just opened the newly renovated Mayfair theatre, we have world class bike trails and a mountain bike adventure park, the new pool complex, new restaurants, and notable developments such as Bernie's Diner and Car Museum. All these things and more are bringing visitors to the district in huge numbers and giving them a reason to stay 1-2 nights in our town.

This proposal is of triple benefit as it is a development which will provide work and trade locally, it will offer small-scale, short-term accommodation and lastly it will become a feature for Kaikoura. A feature that people will come to our town specially to see or stay in. It will be a talking point and a building to be admired. This is a positive for Kaikoura.

When addressing the noted effects of Development and Tourism in the District Plan it is easy to see the positives of the proposed project:

**Issue 1 – Effects of Urban Growth** – Although this proposal is for 2 dwellings, both dwellings are only one bedroom meaning that we are providing for urban growth with little effect on natural and physical resources, while upgrading current amenity and providing opportunity for visitors.

**Issue 2 - Efficient Use of Physical Infrastructure** – Looking at the bird's eye view of the surrounding area pictured below, this land sits right in the middle of an area that is intended to be developed and by developing here it is an efficient use of existing infrastructure.





Birds eye view of the Wakatu Quay area, 2 Wakatu Quay outlined in red

**Issue 3 - Growth and Development of Commercial Activities** - Although no firm plans have been officially announced for the 10-million-dollar wharf development, discussions with the project team can confirm that the area will not be offering accommodation. It is likely to encompass tourism activities, a café and restaurant and possibly some retail space depending on who chooses to come on board with the venture. 2 Wakatu Quay will be a wonderful option for those visiting Kaikoura, being close to commercial operations such as the Wharf, Green Dolphin Restaurant and The Pier Hotel and Restaurant. It is also close to Fyffe House, the Seal Colony and the Peninsula Walk, all popular tourist attractions of Kaikoura, not to mention the breath-taking scenery. Accommodation in this area is sort after.

**Issue 4 - Kaikoura's Character and Townscape** – There are a few key points which stand out here and align with the proposed development.

- 1) ***To encourage developers and tourist operators to undertake activities in a manner which recognises and enhances Kaikoura's "small coastal village" character.*** A lighthouse as accommodation in a "small coastal village" very fitting and appealing.
- 2) ***To provide for certain types of tourist activities in specific areas, such as the airport, the Kaikoura Peninsula Tourism Zone, and the Whaleway Station, where higher noise levels are appropriate.*** The proposed development is in keeping with the current activities of the

area. There is a great mix of residential and commercial activities in this area of town, and we believe that specialist accommodation will be highly sort after here.

- 3) ***To promote and encourage building design and tourist facilities which reflect and incorporate elements of a small coastal village.*** If a landowner is willing invest their time and money in a feature piece, which is fitting with the towns coastal environment and to accommodate and promote visitors to the town, this is a huge positive and we need to encourage them to do so.

**Issue 5 - Economic Significance of Tourism** – The proposed project is providing for sustainable tourism growth in Kaikoura with little effects on the environment.

**Issue 6 - Visitor Accommodation Activities** – The Kaikoura District has recognised the need to provide visitor accommodation to our area while mitigating the effects of increased visitors to the area. This is a positive accommodation provision as the owners will be visiting the site regularly, it is not large scale, the proposed is an enhancement on the existing property.

## Conclusion

The proposed is an un-restricted discretionary activity in the Residential A Zone due to the project being intended for use as visitor accommodation. I have provided an assessment of the actual and potential effects of the proposal in accordance with section 88 of the Act and I have assessed the matters required under section 104 of the Act.

The intention of the proposed dwellings is to provide a modern and exciting form of visitor accommodation, expanding what the town has to offer. Significant landscaping will be offered, and all cultural requirements adhered to. The dwellings will be of high standard and the lighthouse a real talking point for Kaikoura, which will bring visitors to the town. The applicant is wishing to meet a demand in the market in a popular area for visitors.

Tania Ross

03 319 6543 or 027 482 6421

[tsross76@gmail.com](mailto:tsross76@gmail.com)



**Appendix A – Site plan, Floor plans, Elevations**

**Appendix B – Preliminary Archaeological Report**

**Appendix C – Environment Canterbury LLUR Report**

**Appendix D – Affected Party Approval Forms and Proof of Consultation**

# ARCHITECTURAL & STRUCTURAL DESIGN GRONDONA DEVELOPMENT

---

**for**

**Grondona Holdings Limited**

**Lot 2 DP 3886**

**Wakatu Quay**

**Kaikoura**

DESIGN SUMMARY

CLIMATE ZONE = 3  
EARTHQUAKE ZONE = 3  
WIND AREA = SED  
SNOW ZONE/ALTITUDE = N/A  
CORROSION EXPOSURE ZONE = ZONE D

Pete Richards  
Laser Design Services  
P.O Box 177 Leithfield Beach

Licensed Building Practitioner  
LBP No 110089



---

Laser Designs - Pete Richards  
PHONE: (03) 313 6030  
ADDRESS: PO BOX 177 LEITHFIELD BEACH 7446  
EMAIL: [pete.richards@lxd.co.nz](mailto:pete.richards@lxd.co.nz)

JOB TITLE:

Development for  
Grondona Holdings Ltd

DRAWING TITLE:

LEGAL DESCRIPTION:

Lot 2 DP 3886  
Address: Wakatu Quay Kaikoura

NOTES:

- Subject to council approval  
- All measurements to be confirmed on site by  
the contractor prior to the commencement of work

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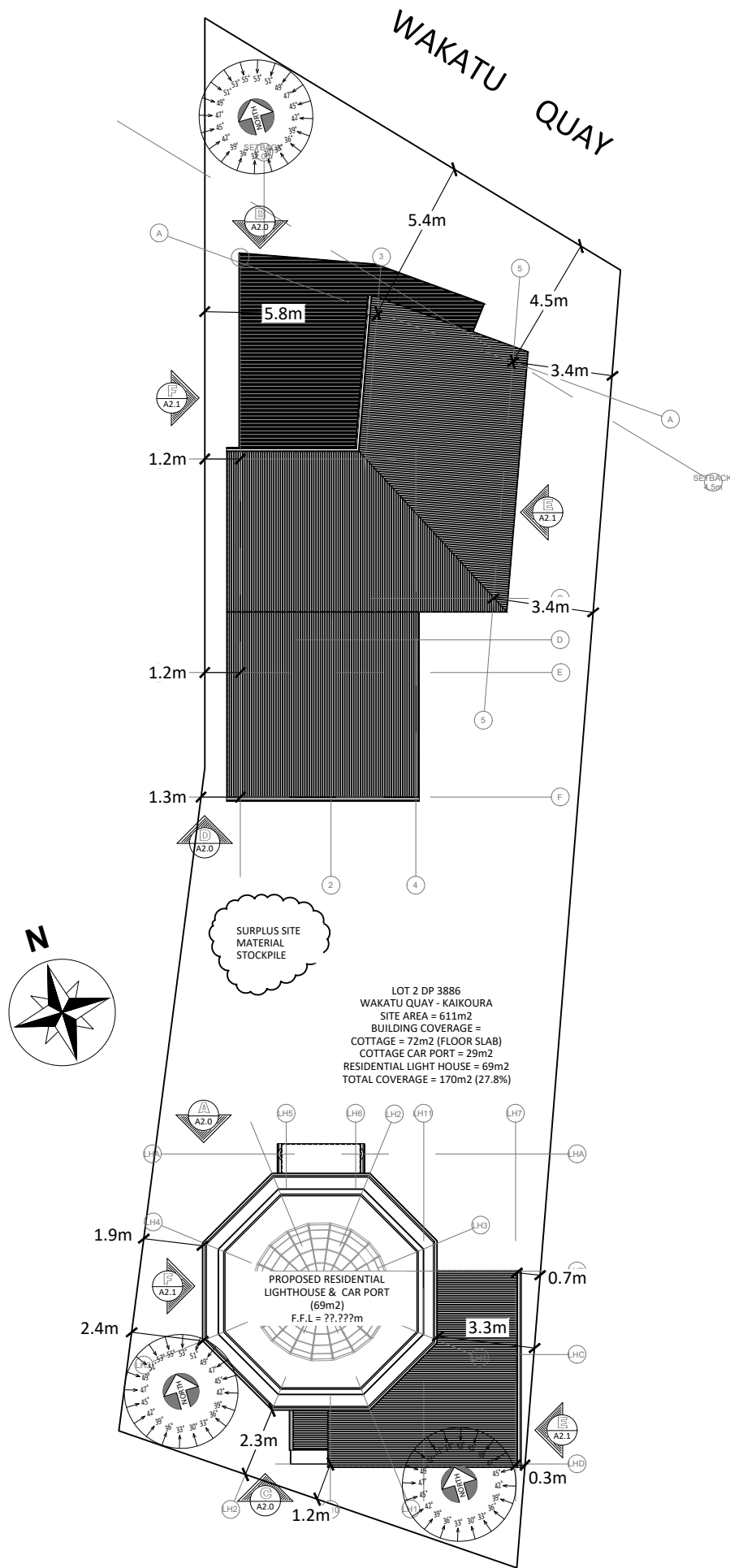
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21/05/2021	P J R	
AMENDMENT DATE:	VERSION:	JOB #
		2020-351

SHEET:

PIM ISSUE 20/05/2021

**SEDIMENT AND SITE MANAGEMENT**

1. Refer to the Sediment plan for site layout protection.
2. Provide stabilized all-weather access.
3. Control water at the top of the site.
4. Control sediment at the foot of the site.
5. Put all stockpiles and building materials within the sediment control zone.
6. Connect all downpipes as soon as possible.
7. Manage litter and building wastes - especially concrete.
8. Promptly stabilize service trenching and other areas of exposed soil.
9. Maintain and carefully decommission control measures and stabilize the site.
10. Minimise site re-contouring and keep earthworks to an absolute minimum only start them immediately before you start building.
11. Maintain as much grass cover as possible and install temporary fences to define 'no go' areas that are not to be disturbed.
12. Direct stormwater flows around the building area and any exposed soils (see step 3).
13. Allow room for sediment controls (see step 5)
14. Do not use exposed aggregate concrete in areas where the wash-off cannot be adequately contained or removed: concrete is lethal to fish even in tiny concentrations (see step 7).
15. Refer to the site plan for erosion and sediment control before starting any earth-disturbing activities. The sediment control zone is restricted to within the lot boundaries.
16. Provide places where tool and paint washing, brick, tile or masonry cutting and water-cooled activities can be done where they will not cause runoff into stormwater systems. Aim to contain all wastewater within the site boundaries by locating these tasks on a permeable surface or uphill of an infiltration or where appropriate, a service trench.
17. Tell staff and subcontractors not to park on the footpath grass verge or swale, where they will damage services and track dirt onto the road.
18. Make sure all subcontractors and tradesmen are fully aware of their requirements and individual responsibilities under this plan: if you document this, it will greatly reduce your liability in the event of any pollution complaints.
19. Provide stabilized all-weather access on the driveway as shown on the site plan. Local residents often complain about muddy roads when builders start work. Protect your site and stop this source.
20. Restrict entry/exit to one stabilized location, this may not be where the driveway will ultimately be wherever practicable, extend the stabilized entry right up to the building, manage the entry/exit point so that sediment is not tracked off site, use an aggregate, recycled concrete or rock apron placed over a needle-punched geotextile fabric membrane where the entry/exit area slopes towards the road, install a diversion hump across the stabilized area to direct storm water runoff to the side for treatment by a sediment fence or sandbag trap.
21. Control water at the top of the site managing the fall of the land and stormwater runoff, to help you plan the layout of your site's erosion and sediment controls.



**Site Plan**  
SCALE : 1:150



**Location Plan**  
NOT TO SCALE

Laser Designs - Pete Richards  
PHONE: (03) 313 6030  
ADDRESS: PO BOX 177 LEITHFIELD BEACH 7446  
EMAIL: pete.richards@xtra.co.nz

JOB TITLE:

Development for  
Grondona Holdings Ltd

DRAWING TITLE:

Site & Location Plan

LEGAL DESCRIPTION:

Lot 2 DP 3886  
Address: Wakatu Quay Kaikoura

NOTES:

- Subject to council approval  
- All measurements to be confirmed on site by the contractor prior to the commencement of work

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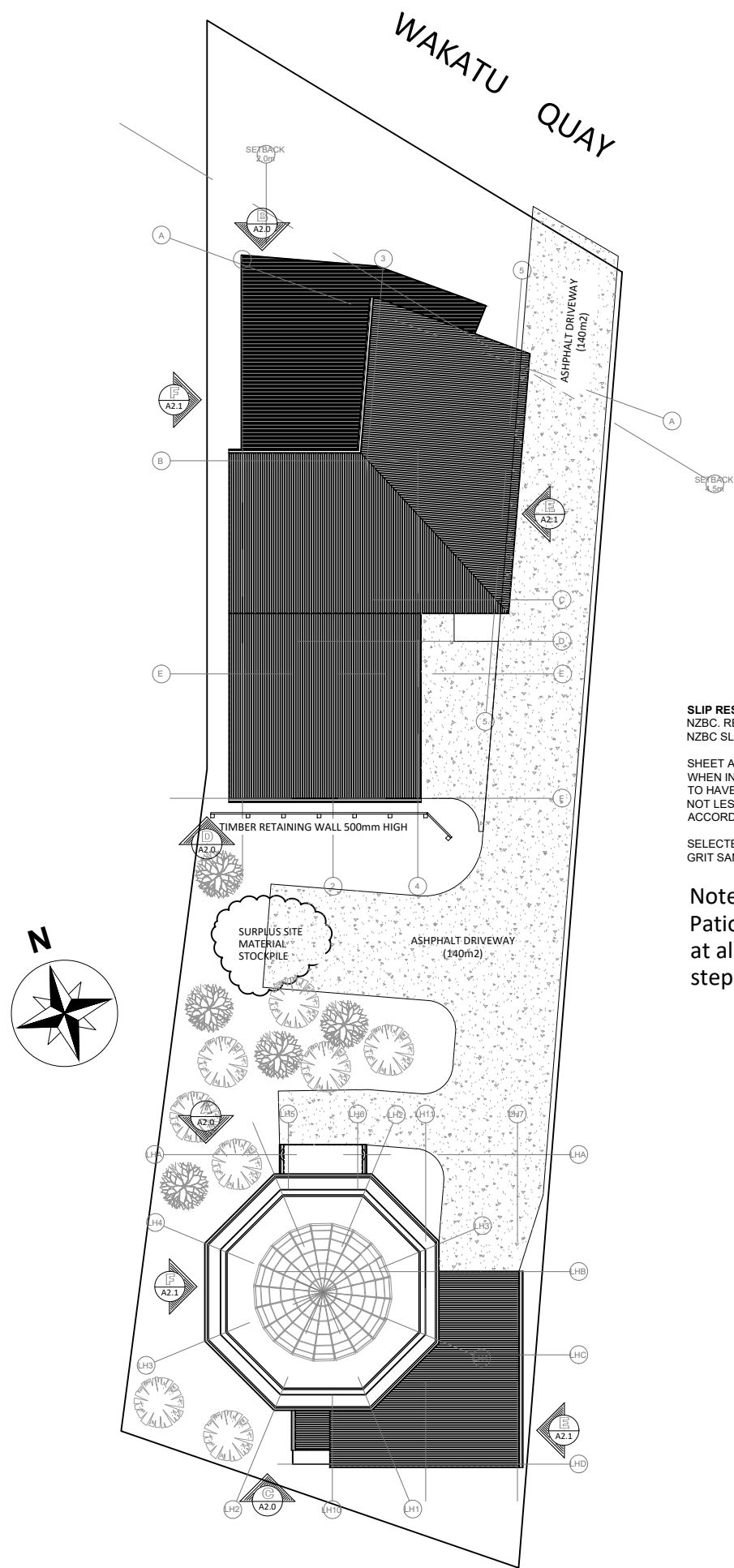
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21. Control water at the top of the site managing the fall of the land and stormwater runoff, to help you plan the layout of your site's erosion and sediment controls.



**SLIP RESISTANCE FOR TILES TO COMPLY WITH NZBC. REFER TO END OF THE SPECIFICATION FOR NZBC SLIP RESISTANCE TABLE (D1/AS1: 2.1).**

**SHEET AND TILE FLOORING INCLUDING PATIOS WHEN IN PLACE ON A LEVEL ACCESS ROUTE ARE TO HAVE A MEAN COEFFICIENT OF FRICTION (N) NOT LESS THAN 0.4 WHEN TESTED IN ACCORDANCE WITH AS/NZS 4586**

**SELECTED "GRIT FINISHED GLAZED TILES" TO 80 GRIT SANDPAPER FEEL ON LEVEL FINISH.**

**Note:**  
 Patios or entry slabs are to be constructed at all external entry to the house with a step down not exceeding 190mm.

**Landscaping and Contour Plan**  
 SCALE : 1:150

Laser Designs - Pete Richards  
 PHONE: (03) 313 6030  
 ADDRESS: PO BOX 177 LEITHFIELD BEACH 7446  
 EMAIL: pete.richards@xtra.co.nz

**Development for Grondona Holdings Ltd**

**Landscaping and Contour Plan**

**LEGAL DESCRIPTION:**  
 Lot 2 DP 3886  
 Address: Wakatu Quay Kaikoura

**NOTES:**  
 - Subject to council approval  
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SHEET:  
 A1.2

**GENERAL NOTES**

**NOTE: INSTALL ALL PROPRIETARY PRODUCTS IN ACCORDANCE WITH THEIR MANUFACTURERS INSTRUCTIONS, UNLESS SPECIFIED OTHERWISE**

**ROOF CLADDING.**  
**COLORSTEEL FINISHED METAL LONG RUN ROOFING 0.4BMT** (METALCRAFT MC760 OR SIMILAR PROFILE) OVER SELF-SUPPORTING UNDERLAY ON, (SG8) H1.2 70 X 45 PURLINS @ 900 CTRS MAX.  
**HARDIES SOFFIT** FIXED TO 90x45mm 70x20mm BATTENS H1.2 @ APPROPRIATE CTRS (TYPICAL FOR TIMBER FRAMED WALL EAVE).

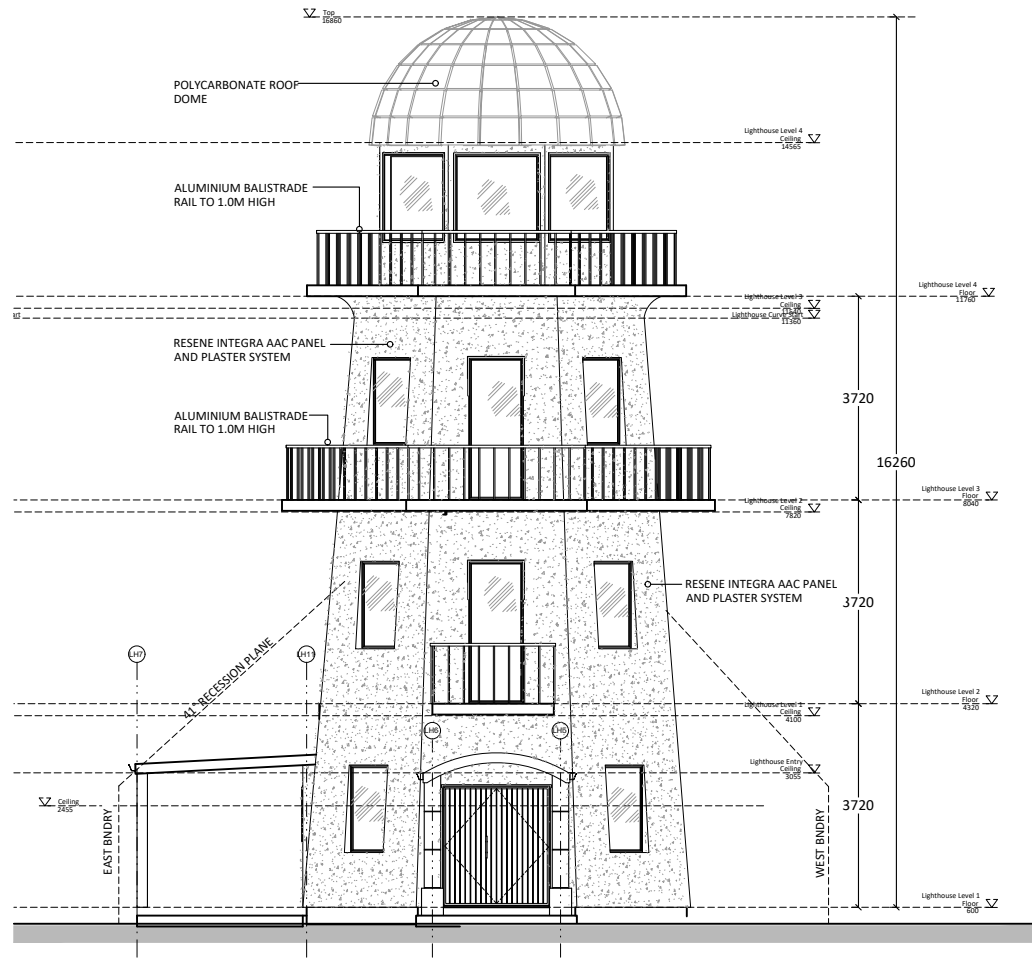
**EXTERIOR CLADDING.**  
 RESENE INTEGRA AAC PANEL SYSTEM ON VENTILATED CAVITY ON ECOPLY RAB ON 90x45 STUDS @ 400mm CRS. OR 140x45 STUDS @ 600mm CRS (SED DESIGNED WIND ZONE) OR HERMAN PACIFIC CEDAR CLADDING ON ECOPLY RAB ON 90x45 STUDS @ 400mm CRS. OR 140x45 STUDS @ 600mm CRS (SED DESIGNED WIND ZONE)

**FLOOR STRUCTURE.**  
 RAFT FOUNDATION (PLEASE REFER TO ENGINEERS DRAWINGS)

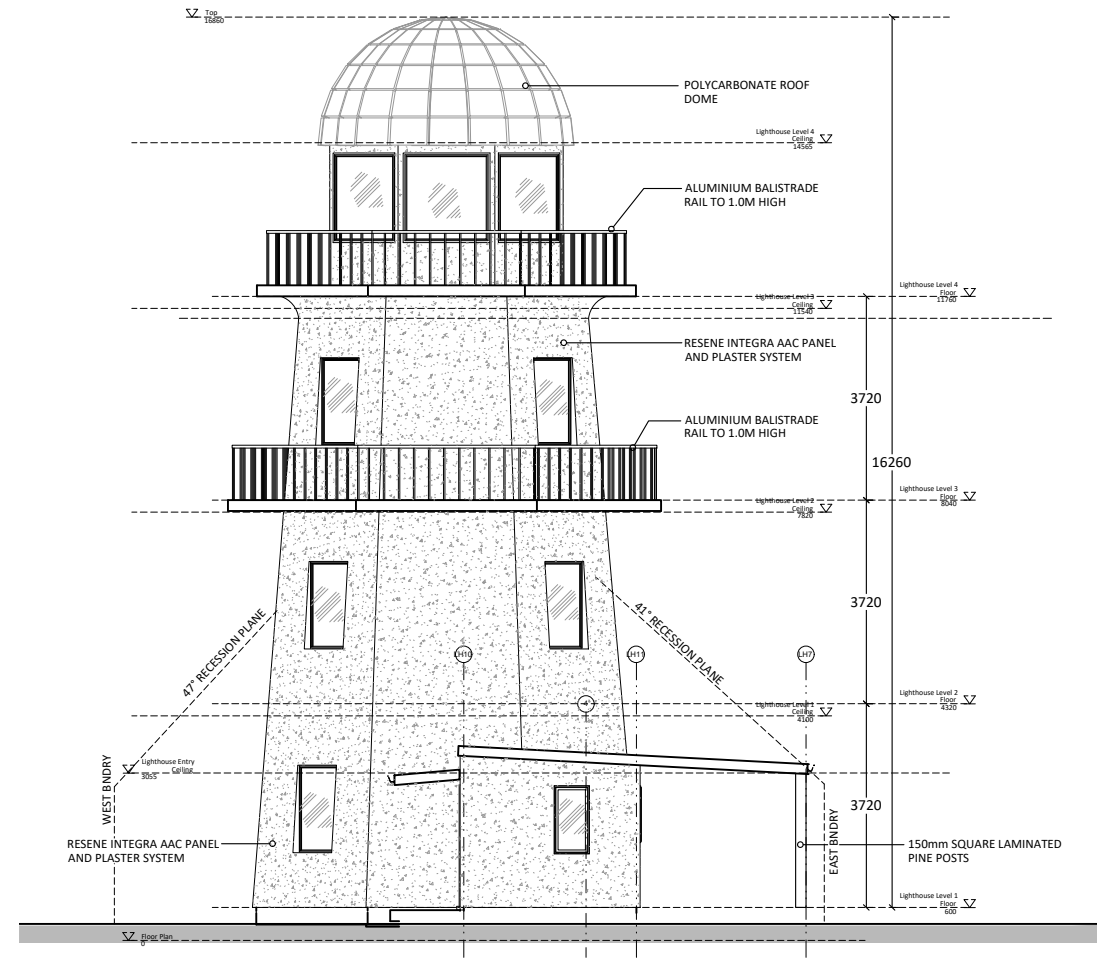
**WINDOW JOINERY.**  
 SELECTED ALUMINIUM FRAMED WINDOWS (SELECTED SERIES) ALL WINDOW DIMENSIONS SHOWN ARE ROUGH OPENING, SITE VERIFY PRIOR TO FABRICATION.  
 ALL GLAZING EXCEPT GARAGE TO BE DOUBLE GLAZED. GLAZING SHOWN AS (sg) IS TO BE SAFETY GLASS.  
 ALL WINDOWS AND DOORS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NZS 4211 TO SUIT LOCATION.

**EXTERNAL DOORS.**  
 SELECTED ALUMINIUM FRAMED DOOR JOINERY (SELECTED SERIES)

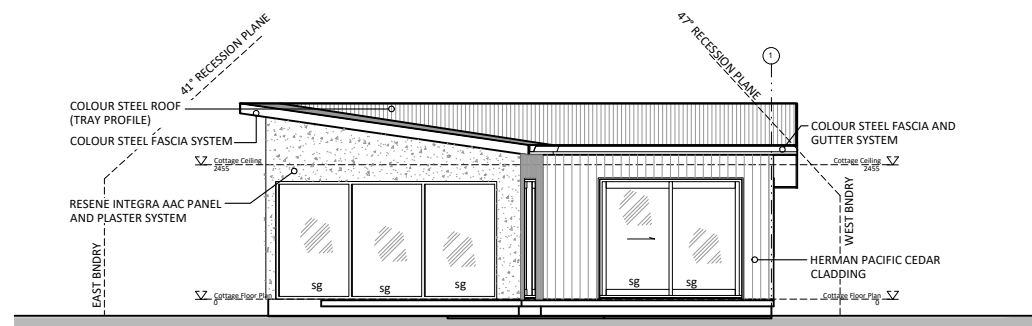
**SLAB & FOUNDATION CONSTRUCTION (GARAGE)**  
 AS PER FOUNDATION LAYOUT AND ENGINEERS DESIGN.



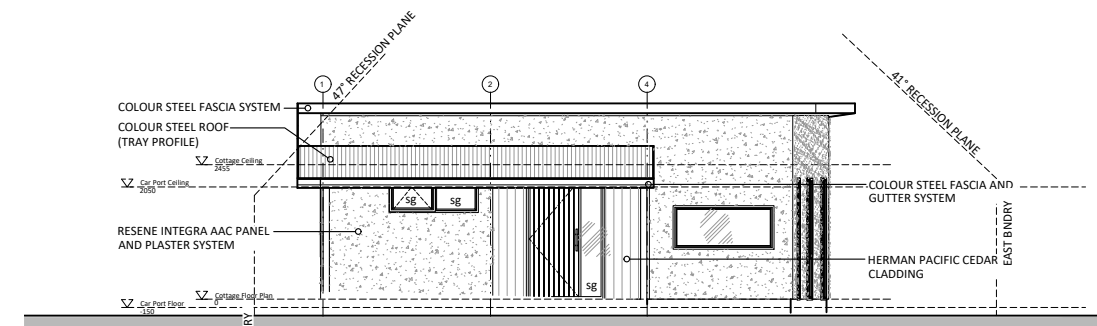
**North Elevation (A)**  
 SCALE : 1:100



**South Elevation (C)**  
 SCALE : 1:100



**North Elevation (B)**  
 SCALE : 1:100



**South Elevation (D)**  
 SCALE : 1:100

Laser Designs - Pete Richards  
 PHONE: (03) 313 6030  
 ADDRESS: PO BOX 177 LEITHFIELD BEACH 7446  
 EMAIL: pete.richards@xtra.co.nz

JOB TITLE:

Development for  
 Grondona Holdings Ltd

DRAWING TITLE:

**Elevations**

LEGAL DESCRIPTION:

**Lot 2 DP 3886**  
**Address: Wakatu Quay Kaikoura**

NOTES:

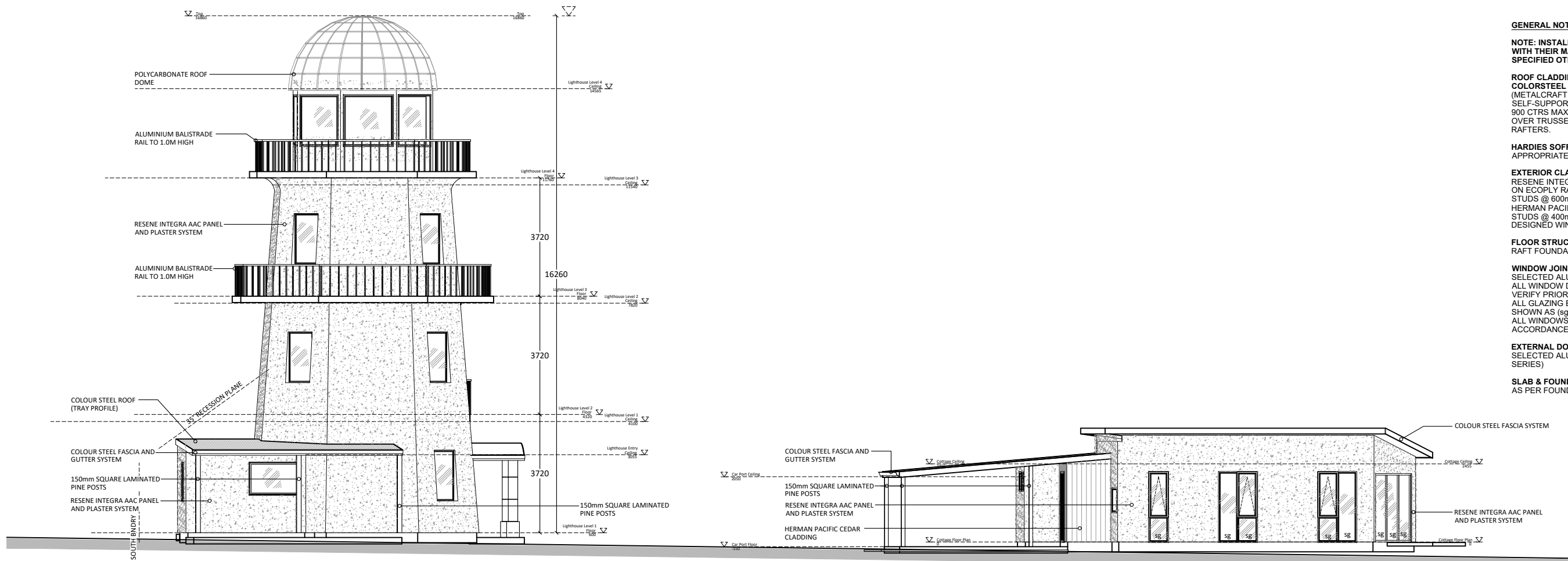
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**GENERAL NOTES**

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**ROOF CLADDING.**  
**COLORSTEEL FINISHED METAL LONG RUN ROOFING 0.4BMT** (METALCRAFT MC760 OR SIMILAR PROFILE) OVER SELF-SUPPORTING UNDERLAY ON, (SG8) H1.2 70 X 45 PURLINS @ 900 CTRS MAX. OVER TRUSSES TO NZBC B1/VM1 OR LUMBERWORX LIB300-88 RAFTERS.

**HARDIES SOFFIT** FIXED TO 90x45mm 70x20mm BATTENS H1.2 @ APPROPRIATE CTRS (TYPICAL FOR TIMBER FRAMED WALL EAVE).

**EXTERIOR CLADDING.**  
 RESENE INTEGRA AAC PANEL SYSTEM ON VENTILATED CAVITY ON ECOPLY RAB ON 90x45 STUDS @ 400mm CRS, OR 140x45 STUDS @ 600mm CRS (SED DESIGNED WIND ZONE) OR HERMAN PACIFIC CEDAR CLADDING ON ECOPLY RAB ON 90x45 STUDS @ 400mm CRS, OR 140x45 STUDS @ 600mm CRS (SED DESIGNED WIND ZONE)

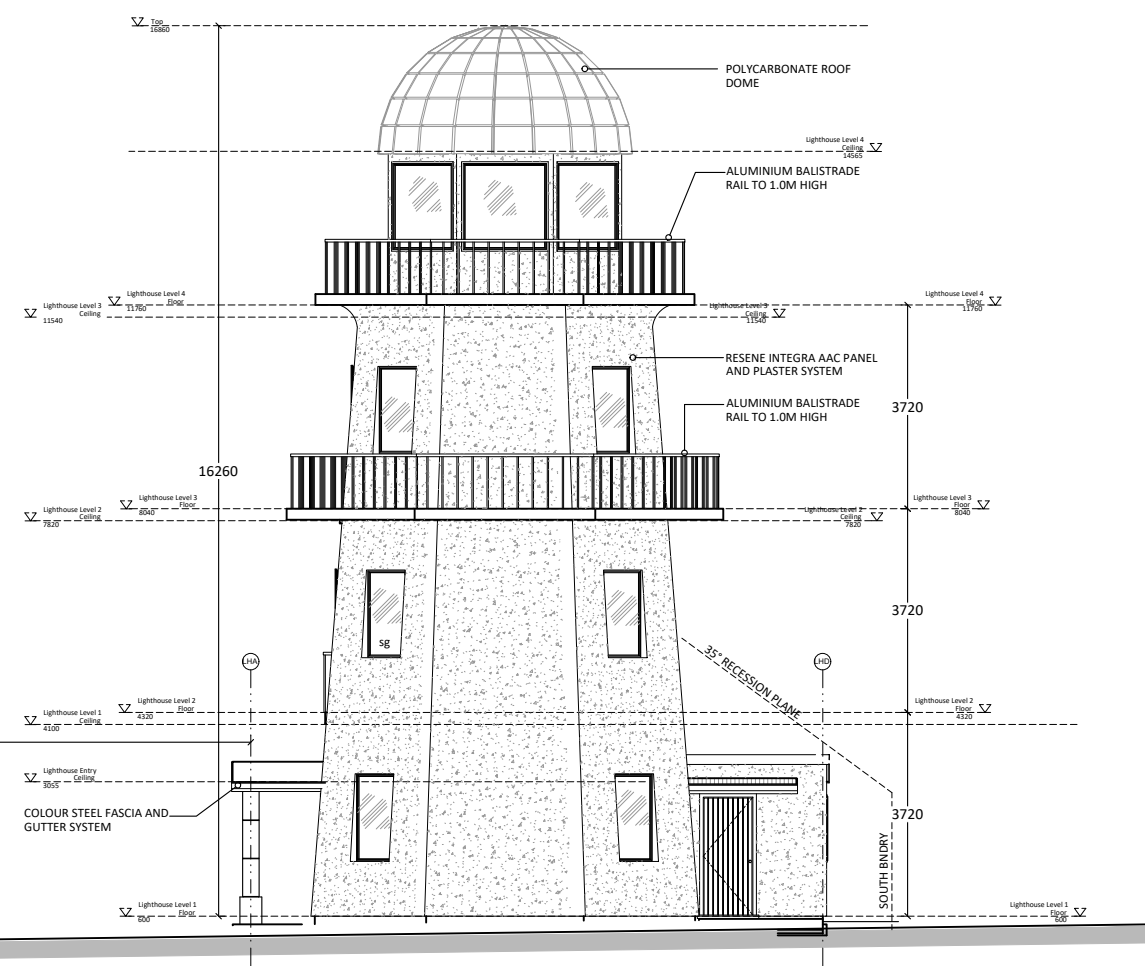
**FLOOR STRUCTURE.**  
 RAFT FOUNDATION (PLEASE REFER TO ENGINEERS DRAWINGS)

**WINDOW JOINERY.**  
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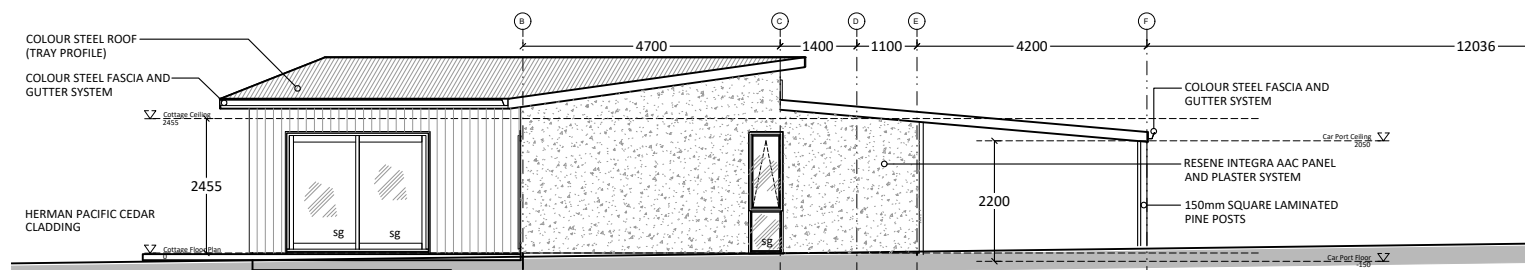
**EXTERNAL DOORS.**  
 SELECTED ALUMINIUM FRAMED DOOR JOINERY (SELECTED SERIES)

**SLAB & FOUNDATION CONSTRUCTION (GARAGE)**  
 AS PER FOUNDATION LAYOUT AND ENGINEERS DESIGN.

**East Elevation (E)**  
 SCALE : 1:100



**West Elevation (F)**  
 SCALE : 1:100



Laser Designs - Pete Richards  
 PHONE: (03) 313 6030  
 ADDRESS: PO BOX 177 LEITHFIELD BEACH 7446  
 EMAIL: pete.richards@laser.co.nz

JOB TITLE:

Development for  
 Grondona Holdings Ltd

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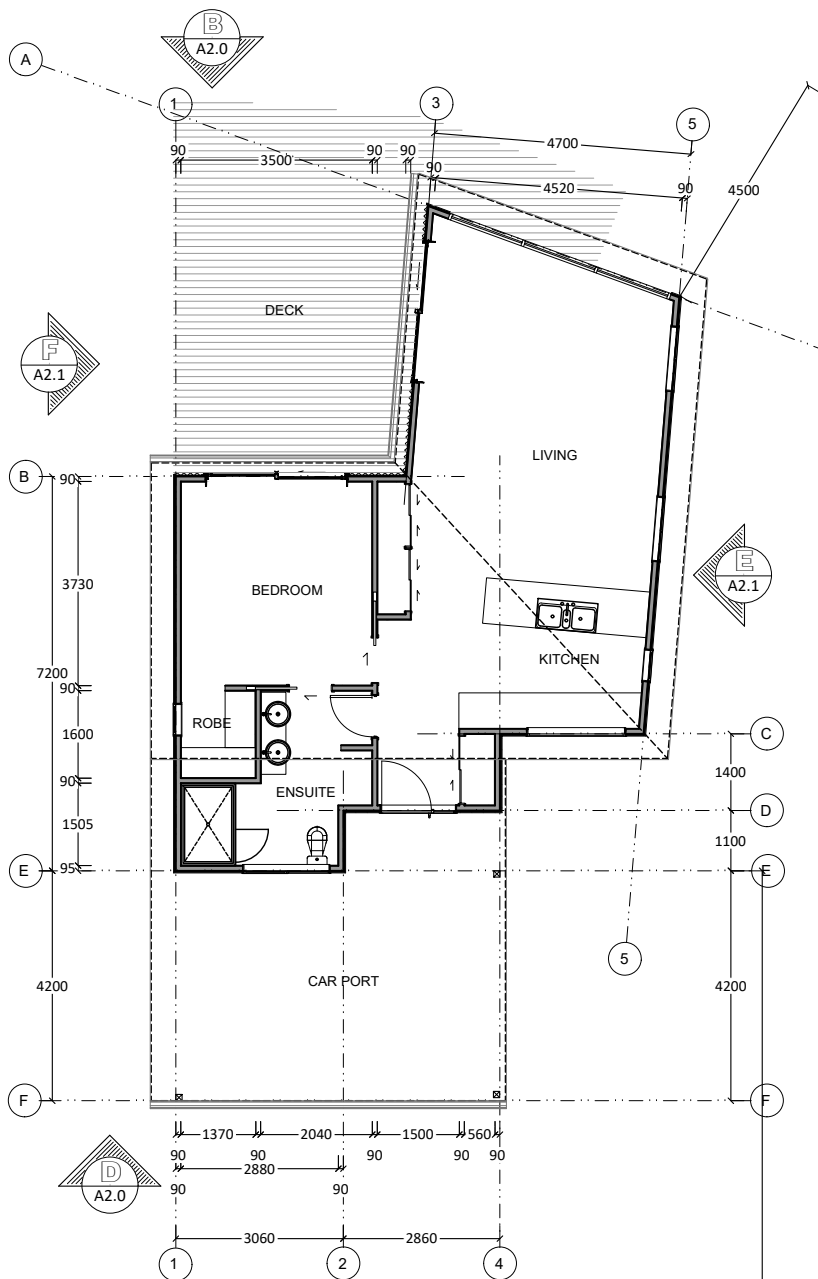
**Elevations**

LEGAL DESCRIPTION:  
 Lot 2 DP 3886  
 Address: Wakatu Quay Kaikoura

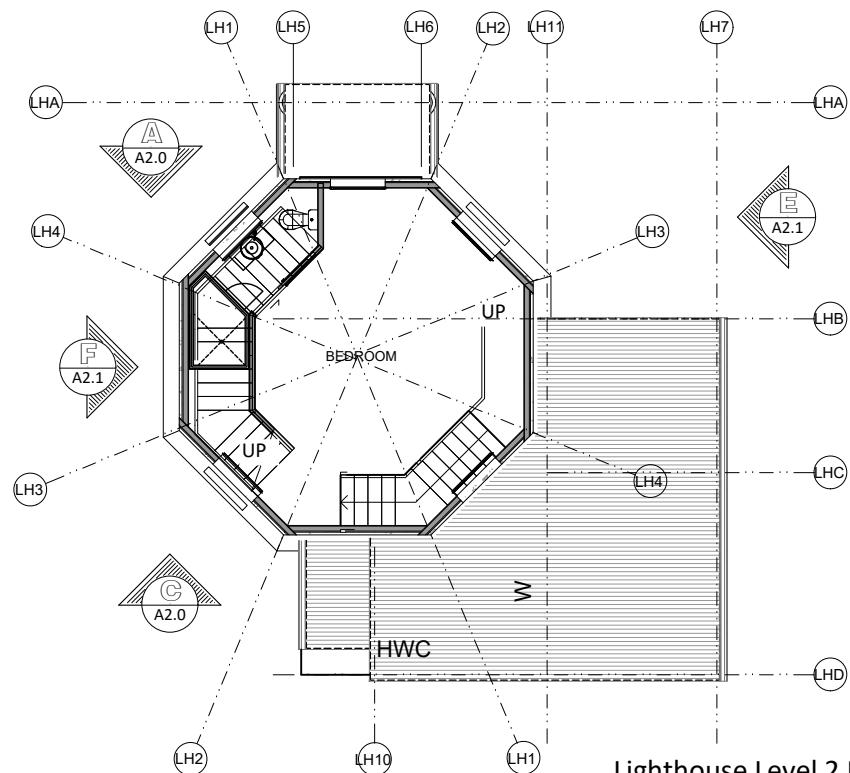
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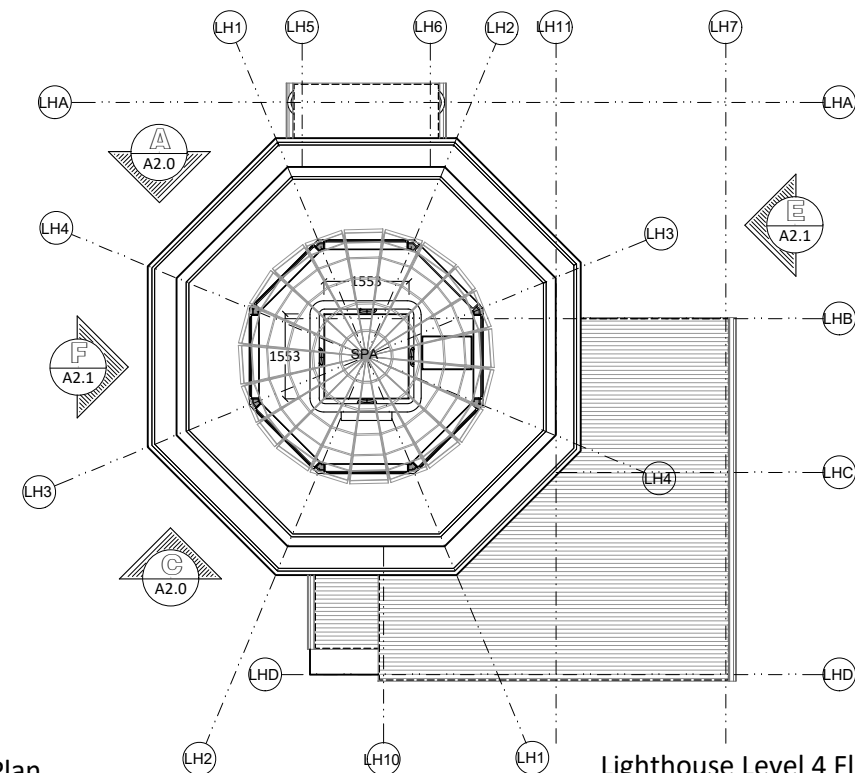
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AMENDMENT DATE:	VERSION:	JOB #
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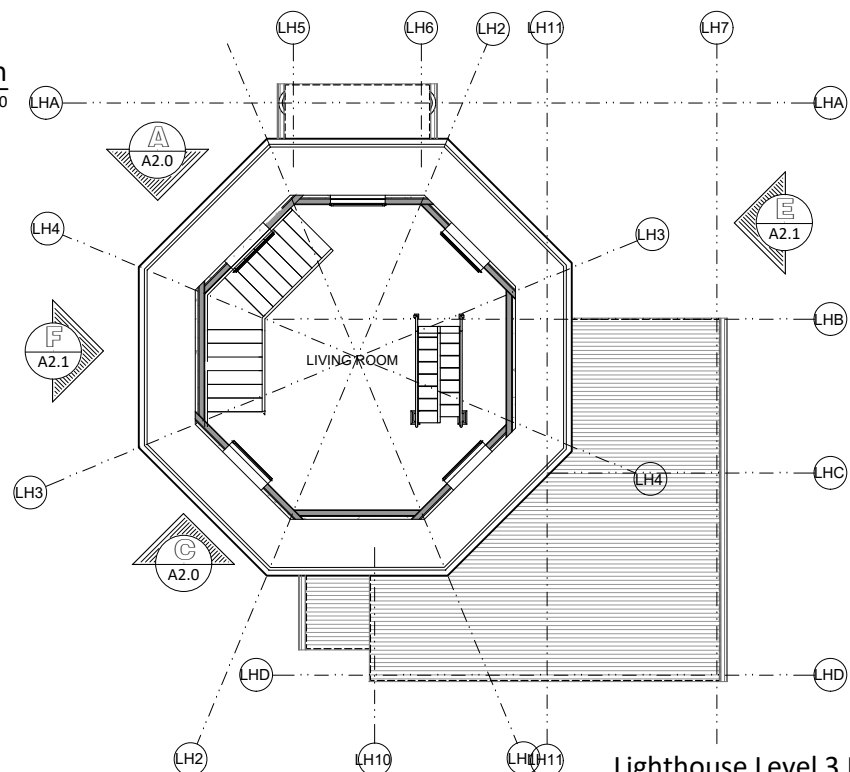
**Cottage Floor Plan**  
SCALE : 1:100



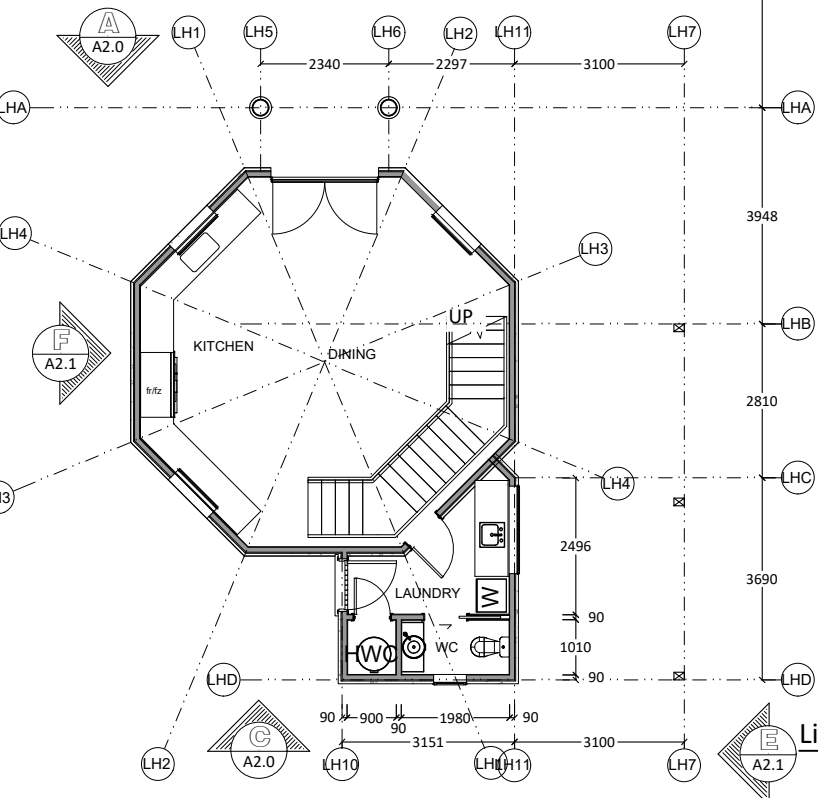
**Lighthouse Level 2 Floor Plan**  
SCALE : 1:100



**Lighthouse Level 4 Floor Plan**  
SCALE : 1:100



**Lighthouse Level 3 Floor Plan**  
SCALE : 1:100



**Lighthouse Level 1 Floor Plan**  
SCALE : 1:100

**LEGEND**

- EXTERIOR LOAD BEARING WALLS  
RESENE INTEGRA AAC PANEL SYSTEM ON 20mm VENTILATED CAVITY ON 90x45mm (STUDS @ 400mm CRS MAX) DWANGS @ 800mm CRS MAX. PAINT FINISHED 10mm GIB BD (ADHESIVE FIX IN MIDDLE AND GIB SCREWS) OR
- HERMAN PACIFIC VERTICAL CEDAR ON 20mm CAVIBAT CAVITY ON 90x45mm (STUDS @ 400mm CRS MAX) DWANGS @ 400mm CRS MAX. PAINT FINISHED 10mm GIB BD (ADHESIVE FIX IN MIDDLE AND GIB SCREWS)
- INTERNAL NON-LOAD BEARING WALLS  
PAINT FINISHED 10mm (Min) GIB BD LINED; (SG8) H1.2 90 x 45 INTERNAL TIMBER FRAMING; STUDS @ 600 CTRS, DWANGS @ 800 CTRS (MAX) (UP TO 2.7m STUD)
- HUSH TYPE SMOKE DETECTORS

**NOTE**  
PROVIDE SELECTED GLOSS ENAMEL PAINT AND CERAMIC TILE SPLASH BACK FINISHES OVER 10mm GIB BOARD AQUALINE OVER H1.2 TIMBER FRAMED WALLS TO ALL WET AREAS (ENSUITE/ BATHROOM/ LAUNDRY/ KITCHENS)

**GENERAL NOTES**

- ALL INTERIOR DOORS TO BE PAINT FINISHED FLUSH PANEL MDF HOLLOW CORE DOORS WITH SELECTED HARDWARE (810 X 2200 NOMINAL SIZE)
- ALL CAVITY SLIDERS TO BE CS BRAND
- ALL WINDOW AND DOOR DIMENSIONS SHOWN ARE ROUGH OPENING, SITE VERIFY PRIOR TO FABRICATION
- KITCHEN DESIGN JOINERY DESIGN AND CONSTRUCTED BY OTHERS

**SLIP RESISTANCE** FOR TILES TO COMPLY WITH NZBC. REFER TO END OF THE SPECIFICATION FOR NZBC SLIP RESISTANCE TABLE (D1/AS1: 2.1).

SHEET AND TILE FLOORING WHEN IN PLACE ON A LEVEL ACCESS ROUTE ARE TO HAVE A MEAN COEFFICIENT OF FRICTION (N) NOT LESS THAN 0.4 WHEN TESTED IN ACCORDANCE WITH AS/NZS 4586

SELECTED "GRIT FINISHED GLAZED TILES" TO 80 GRIT SANDPAPER FEEL ON LEVEL FINISH.

**NOTE:** ALL TILE FLOOR FINISH WET AREAS TO BE OVER APPROVED WATER PROOF MEMBRANE ("SUPERFLEX") REFER TO SPECIFICATION FOR INSTALLATION DETAILS

**ENSURE TO INSTALL TILES TO WET AREAS UNDER PLUMBING FIXTURES I.E. UNDER WASHING MACHINE AND BATHROOM BASIN**

Laser Designs - Pete Richards  
PHONE: (03) 313 6030  
ADDRESS: PO BOX 177 LEITHFIELD BEACH 7446  
EMAIL: pete.richards@xtra.co.nz

JOB TITLE:

**Development for  
Grondona Holdings Ltd**

DRAWING TITLE:

**Floor Plan**

LEGAL DESCRIPTION:

**Lot 2 DP 3886  
Address: Wakatu Quay Kaikoura**

NOTES:

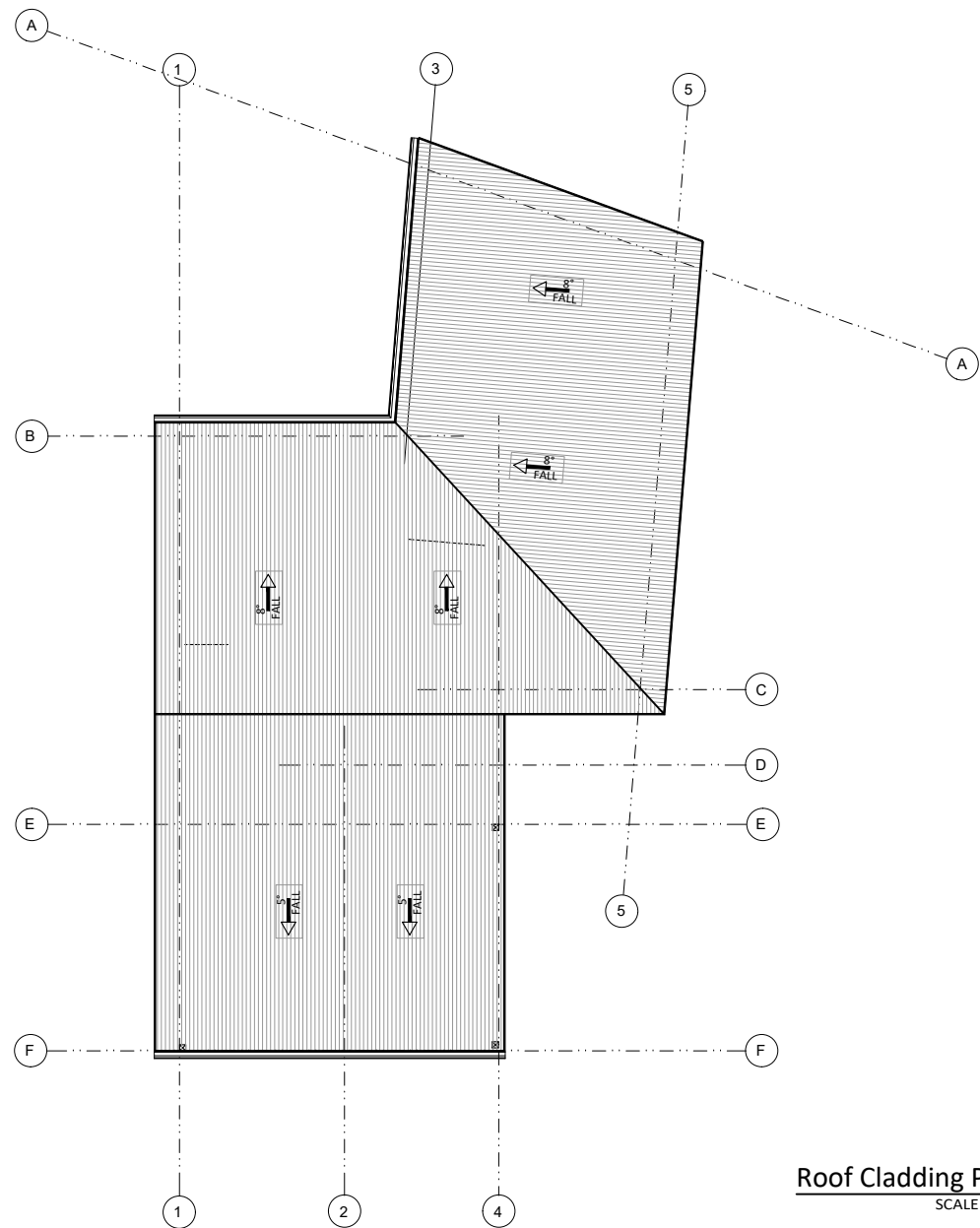
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DATE OF ISSUE: 21/05/2021	DESIGNER: P J R	SCALE: 1-100
AMENDMENT DATE:	VERSION: C	JOB # 2020-351

SHEET:

**A3.0**



**Roof Cladding Plan**  
SCALE 1:100

**Table 5: Downpipe Sizes for Given Roof Pitch and Area**  
Paragraph 4.2.1

Downpipe size (mm) (minimum internal sizes)	Roof pitch			
	0-25°	25-35°	35-45°	45-55°
	Plan area of roof served by the downpipe (m <sup>2</sup> )			
63 mm diameter	60	50	40	35
74 mm diameter	85	70	60	50
100 mm diameter	155	130	110	90
150 mm diameter	350	290	250	200
65 x 50 rectangular	60	50	40	35
100 x 50 rectangular	100	80	70	60
75 x 75 rectangular	110	90	80	65
100 x 75 rectangular	150	120	105	90

**Downpipe Capacity Table**

**GENERAL NOTES:**

**ROOF CLADDING**  
COLORSTEEL FINISHED METAL LONG RUN ROOFING  
0.4BMT (METALCRAFT MC760 TRAY OR SIMILAR) OVER  
SELF-SUPPORTING UNDERLAY ON: (SG8) H1.2 70 X 45  
PURLINS @ 900 CTRS MAX;

- OVER APPROVED NAIL PLATE TRUSSES @ 900 CTRS  
(MAX)

ALL PIPE (eg VENT PIPES) ROOF PENETRATIONS SHALL BE  
FLASHED AS PER NZBC E2/AS1 EXTERNAL MOISTURE  
SECTION 8.4 PROFILED METAL ROOF CLADDING (8.4.17  
ROOF PENETRATIONS) AS SHOWN IN FIGURE 53 & 54

REFER TO DETAILS FOR PIPE FLASHING SYSTEM  
INSTALLATION DETAILS

**NOTE: PROVIDE SNOW STRAPS** | 25mm WIDE x LENGTH TO  
SUIT x 0.55 GAUGE MILD STEEL @ 450 CTRS; FIX WITH ONE  
ROOF NAIL THROUGH THE UPPER END OF THE STRAP NO  
LESS THEN 25mm FROM END OF STRAP; TURN DOWN THE  
FACE OF THE GUTTER A MINIMUM OF 15mm AND IS TO BE  
FIXED WITH 2 RIVETS (TYPE: 4 GAUGE) THROUGH THE  
FACE AND 1 RIVET THROUGH THE TOP

**FLASHINGS**

ROOF FLASHINGS (APRON, BARGE AND RIDGE PARAPET  
CAPPINGS) ARE TO BE MANUFACTURED FROM THE SAME  
COATING SYSTEM AS USED FOR THE MAIN ROOF AREA TO  
ENSURE EQUAL DURABILITY.

**TYPE SPECIFIED FOR PROJECT:** COLORSTEEL®  
PREPAINTED STEEL (FACTORY COATED STEEL)

**MATERIALS**

PRE-FINISHED GALVANIZED STEEL WITH FORMABILITY  
G550 STEEL SHEET COATED TO AS 1397, PRETREATED,  
PRIMED, TOP-FINISHED AND BACK-COATED, M  
GALVANIZED STEEL, UNPAINTED WITH FORMABILITY G550  
STEEL SHEET COATED TO AS 1397.

**GENERAL FLASHINGS:** (APRON, BARGE AND RIDGE  
PARAPET CAPPINGS) TO BE FORMABLE GRADE 0.55 BMT  
FOR PREPAINTED STEEL TO MATCH ROOFING  
(COLORSTEEL®)

**CUSTOM FABRICATED:** FLASHINGS (AS INDICATED) TO BE  
FORMABLE GRADE 0.55 BMT. FOLDED TO SUIT  
LOCATION/PROFILE AND THEN PAINTED TO MATCH  
COLORSTEEL ROOF SELECTION BY CLIENT (I.E. ROOF  
COLOUR) (BAKED PAINT SYSTEM TO BE APPLIED TO THE  
GALVANISED STEEL FOLDED FLASHING)

Laser Designs - Pete Richards  
PHONE: (03) 313 6030  
ADDRESS: PO BOX 177 LEITHFIELD BEACH 7446  
EMAIL: pete.richards@xtra.co.nz

JOB TITLE:

Development for  
Grondona Holdings Ltd

DRAWING TITLE:

**Roof Cladding**

LEGAL DESCRIPTION:

Lot 2 DP 3886  
Address: Wakatu Quay Kaikoura

NOTES:

- Subject to council approval  
- All measurements to be confirmed on site by  
the contractor prior to the commencement of work

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DATE OF ISSUE: 21/05/2021	DESIGNER: P J R	SCALE: 1-100
AMENDMENT DATE:	VERSION: A	JOB # 2020-351

SHEET:



**Written Approval for the Following Activity That is Subject to a Resource Consent Application** (as per sections 94A, 95C, 127, 136(4)(b) and 234(4) of Resource Management Act 1991)

*Note to applicants: Written approval should be obtained by all owners/occupants over the age of 18 years unless one person has authority to sign for either owners or occupants. Proof of that authority should be included with form.*

**Part 1 – For the applicant to complete**

<b>Applicant's name</b>	ELONA GRONDONA + PETE HOLMES	
<b>Address of proposal</b>	2 WAKATU QUAY KAIKOURA	
<b>Legal Description</b>	Lot 2 DP3886	
<b>Brief Description of Proposal:</b>	1 Bedroom Front Townhouse with 1 Bedroom Lighthouse accommodation at the rear.	

**Plan references (including title, author and date):** includes assessment of effects, site plans and reports. Please have all parties sign all site plans and include with this form.

Assessment of Effects: Tania Ross.
Elevation plans, site plans, Floor Plan: Laser Designs
Reke Richards.

**Part 2 – For the person giving written approval to complete**

<b>Full name (in print)</b>	Fiara Leigh Carr
<b>Full name (in print)</b>	Phillip Maurice Edward Carr
<b>Full name (in print)</b>	
<b>Full name (in print)</b>	
<b>IN the own/occupy (delete one) the following property:</b>	3 Wakatu Quay KAIKOURA

<b>Contact Phone</b>	319 - 3260	<b>Email address</b>	phil.carr@xtra.co.nz
----------------------	------------	----------------------	----------------------

**IF YOU ARE THE OWNER PLEASE CHECK ONE:**

- I live on site or the site is unoccupied.
- The site is occupied by tenants or others on a long term basis (more than three months with no immediate plans to vacate the premises).

Please provide name of all occupants over 18 years of age:

Carol Martin	
--------------	--



**Part 3: Information -Please read before signing below.**

**INFORMATION**

Conditional written approvals cannot be accepted.

Council must disregard trade competition and the effects of trade competition.

There is no obligation to sign this form, and no reasons need to be given. You should only sign below if you fully understand the proposal. If you require the Resource Consent Process to be explained to you, please contact Council planning staff who can provide you with information.

If this form is not signed, the application may be notified with an opportunity for submissions.

**Part 4: Declaration and Signatures**



**DECLARATION – Please read before signing below.**

I/we have read the full application for resource consent, the Assessment of Environmental Effects, and any site plans as describe on page 1. I/we have initialed the site plans. The site plans need to be included with this form.

In signing this written approval, I/we understand that the consent authority must decide that I/we am no longer an affected person, and the consent authority must not have regard to any adverse effects on me/us.

I/we understand that I/we may withdraw my written approval by giving written notice to the consent authority before the hearing, if there is one, or, if there is not, before the application is determined.

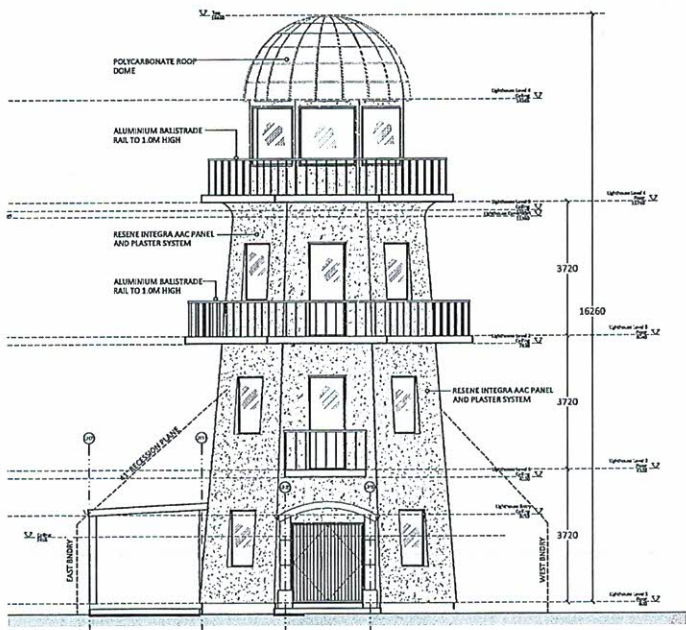
I do not have authority to sign on behalf of a trust/company/owners/occupiers (delete as required) \*.

Signature		Date	29-10-21
	Owner/occupier (delete one)		
Signature		Date	29-10-21
	Owner/occupier (delete one)		
Signature		Date	
	Owner/occupier (delete one)		
Signature		Date	
	Owner/occupier (delete one)		

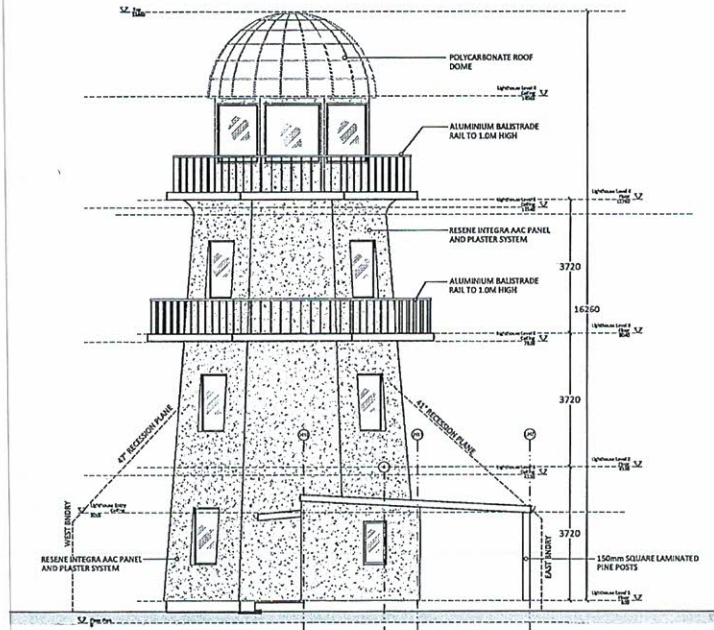
\*If signing on behalf of a trust or company or an individual, please provide additional written evidence that you have signing authority.

\*If you are signing of behalf of all the other owners or occupiers, please provide proof that you have signing authority.

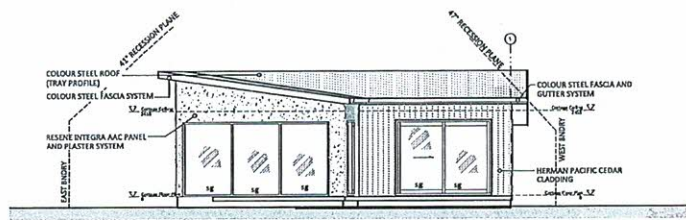




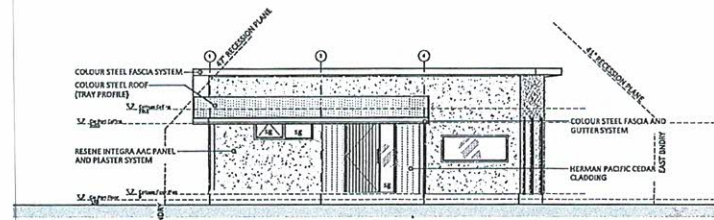
North Elevation (A)  
SCALE: 1:100



South Elevation (C)  
SCALE: 1:100



North Elevation (B)  
SCALE: 1:100



South Elevation (D)  
SCALE: 1:100

**GENERAL NOTES**

NOTE: INSTALL ALL PROPRIETARY PRODUCTS IN ACCORDANCE WITH THEIR MANUFACTURERS INSTRUCTIONS, UNLESS SPECIFIED OTHERWISE

**ROOF CLADDING.**  
COLORSTEEL FINISHED METAL LONG RUN ROOFING 0.4BMT (METAL CRAFT M6780 OR SIMILAR PROFILE) OVER SELF-SUPPORTING UNDERLAY ON; (S&S) H1.2 TO X 45 PURLINS @ 900 CTRS MAX; OVER TRUSSES TO NZBC B1/M1 OR LUMBERWORK LIB300-88 RAFTERS.

**HARDIES SOFFIT** FIXED TO 90x45mm 70x20mm BATTENS H1.2 @ APPROPRIATE CTRS (TYPICAL FOR TIMBER FRAMED WALL EAVE).

**EXTERIOR CLADDING.**  
RESENE INTEGRA AAC PANEL SYSTEM ON VENTILATED CAVITY ON ECOPELY RAS ON 90x45 STUDS @ 400mm CRS, OR 140x45 STUDS @ 600mm CRS (SEE DESIGNED WIND ZONE) OR HERMAN PACIFIC CEDAR CLADDING ON ECOPELY RAS ON 90x45 STUDS @ 400mm CRS, OR 140x45 STUDS @ 600mm CRS (SEE DESIGNED WIND ZONE)

**FLOOR STRUCTURE.**  
RAFT FOUNDATION (PLEASE REFER TO ENGINEERS DRAWINGS)

**WINDOW JOINERY.**  
SELECTED ALUMINIUM FRAMED WINDOWS (SELECTED SERIES) ALL WINDOW DIMENSIONS SHOWN ARE ROUGH OPENING, SITE VERIFY PRIOR TO FABRICATION.  
ALL GLAZING EXCEPT GARAGE TO BE DOUBLE GLAZED. GLAZING SHOWN AS (sg) IS TO BE SAFETY GLASS.  
ALL WINDOWS AND DOORS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NZS 4211 TO SUIT LOCATION.

**EXTERNAL DOORS.**  
SELECTED ALUMINIUM FRAMED DOOR JOINERY (SELECTED SERIES)

**SLAB & FOUNDATION CONSTRUCTION (GARAGE)**  
AS PER FOUNDATION LAYOUT AND ENGINEERS DESIGN.

Laser Designs - Pele Richards  
PHONE: (03) 313 6030  
ADDRESS: PO BOX 177 LEITHFIELD BEACH 7446  
EMAIL: pele.richards@laser.co.nz  
JOB TITLE:

Development for  
Grondona Holdings Ltd

DRAWING TITLE:  
Elevations

LEGAL DESCRIPTION:  
Lot 2 DP 3886  
Address: Wakatu Quay Kaikoura

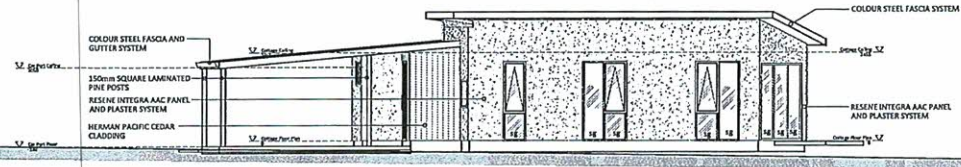
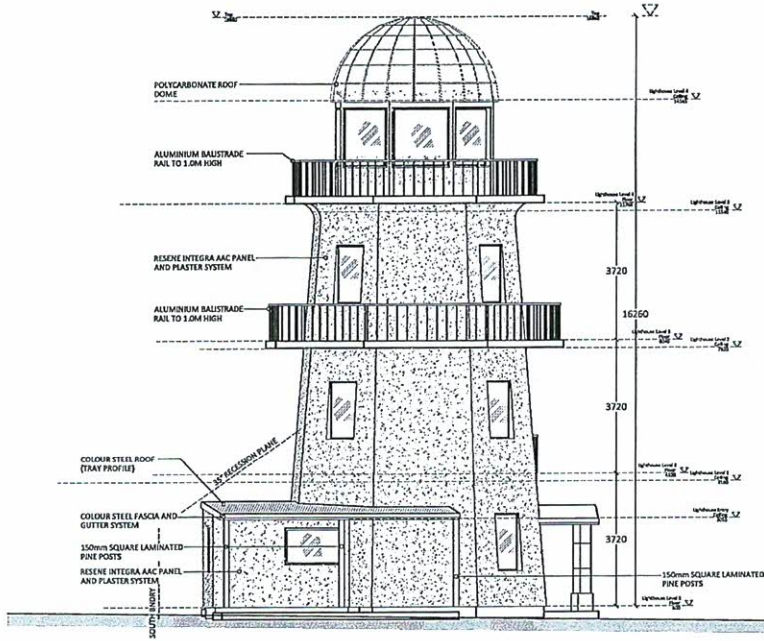
NOTES:  
- Subject to council approval  
- All measurements to be confirmed on site by the contractor prior to the commencement of work

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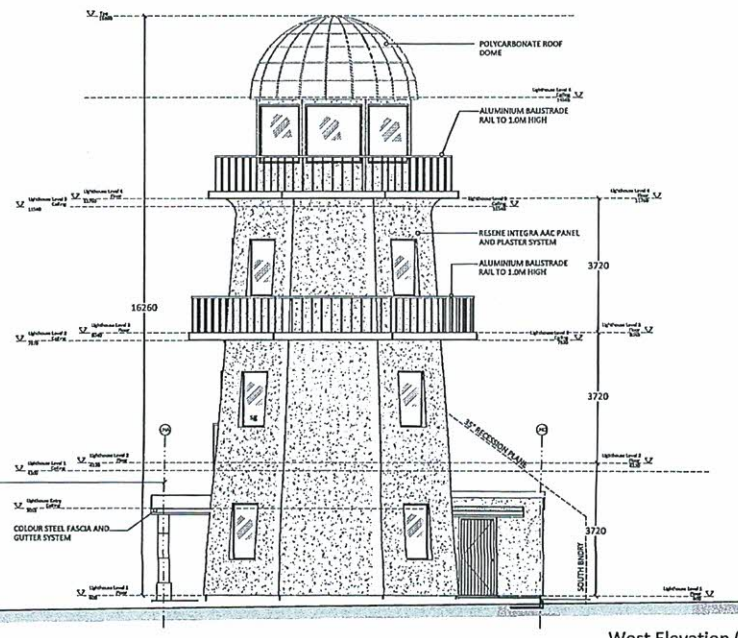
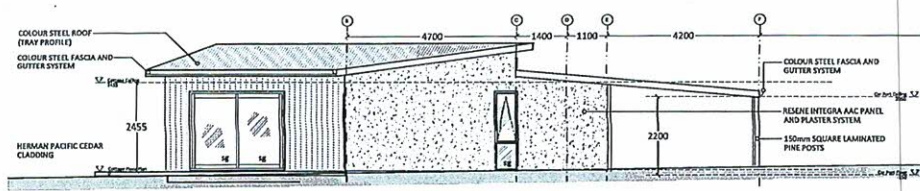
DATE OF ISSUE: 21/05/2021	DESIGNER: P J R	SCALE: 1-100
AMENDMENT DATE:	VERSION: A	JOB # 2020-351

SHEET:

*Pele Richards*



**East Elevation (E)**  
SCALE: 1:100



**West Elevation (F)**  
SCALE: 1:100

**GENERAL NOTES**  
NOTE: INSTALL ALL PROPRIETARY PRODUCTS IN ACCORDANCE WITH THEIR MANUFACTURERS INSTRUCTIONS, UNLESS SPECIFIED OTHERWISE

**ROOF CLADDING**  
COLORSTEEL FINISHED METAL LONG RUN ROOFING 0.48MT (METALCHRAFT MC760 OR SIMILAR PROFILE) OVER SELF-SUPPORTING UNDERLAY ON (S2B) H.2 78 X 45 PURLINS @ 900 CTRS MAX; OVER TRUSSES TO NZBC B11M11 OR LUMBERWORK L18300-88 RAFTERS.

**HARDIES SOFFIT** FIXED TO 90x45mm Td20mm BATTENS H1.2 @ APPROPRIATE CTRS (TYPICAL FOR TIMBER FRAMED WALL EAVE).

**EXTERIOR CLADDING**  
RESENE INTEGRA AAC PANEL SYSTEM ON VENTILATED CAVITY ON ECOPLY RAB ON 90x45 STUDS @ 400mm CRS. OR 140x45 STUDS @ 600mm CRS (SEE DESIGNED WIND ZONE) OR HERMAN PACIFIC CEDAR CLADDING ON ECOPLY RAB ON 90x45 STUDS @ 400mm CRS. OR 140x45 STUDS @ 600mm CRS (SEE DESIGNED WIND ZONE)

**FLOOR STRUCTURE**  
RAFT FOUNDATION (PLEASE REFER TO ENGINEERS DRAWINGS)

**WINDOW JOINERY**  
SELECTED ALUMINIUM FRAMED WINDOWS (SELECTED SERIES) ALL WINDOW DIMENSIONS SHOWN ARE ROUGH OPENING, SITE VERIFY PRIOR TO FABRICATION.  
ALL GLAZING EXCEPT GARAGE TO BE DOUBLE GLAZED. GLAZING SHOWN AS (GG) IS TO BE SAFETY GLASS.  
ALL WINDOWS AND DOORS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NZS 4211 TO SUIT LOCATION.

**EXTERNAL DOORS**  
SELECTED ALUMINIUM FRAMED DOOR JOINERY (SELECTED SERIES)

**SLAB & FOUNDATION CONSTRUCTION (GARAGE)**  
AS PER FOUNDATION LAYOUT AND ENGINEERS DESIGN.

Lesar Designs - Pete Richards  
PHONE: (03) 313 6000  
ADDRESS: PO BOX 177 LEITHFIELD BEACH 7448  
EMAIL: pete.richards@ltd.co.nz

JOB TITLE:  
Development for  
Gron dona Holdings Ltd

DRAWING TITLE:

Elevations

LEGAL DESCRIPTION:  
Lot 2 DP 3888  
Address: Wakatu Quay Kaitioura

NOTES:  
- Subject to council approval  
- All measurements to be confirmed on site by the contractor prior to the commencement of work

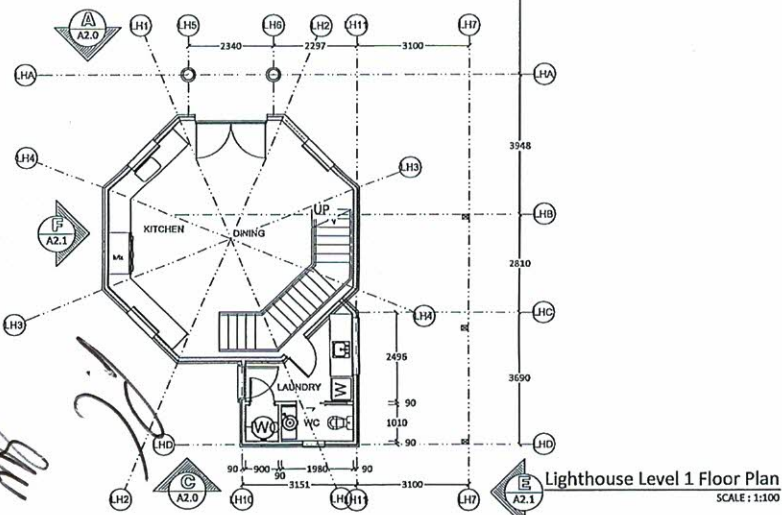
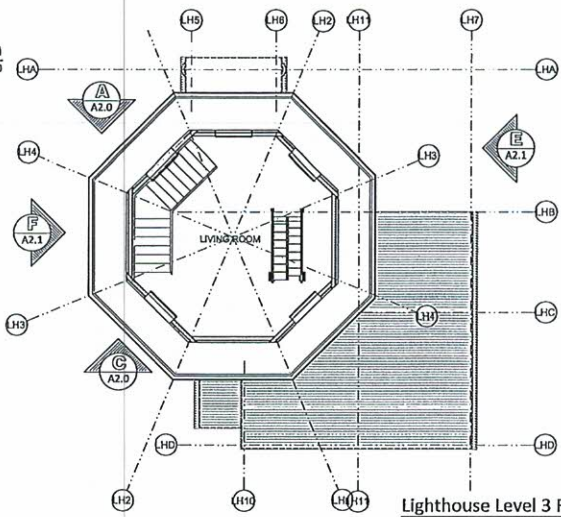
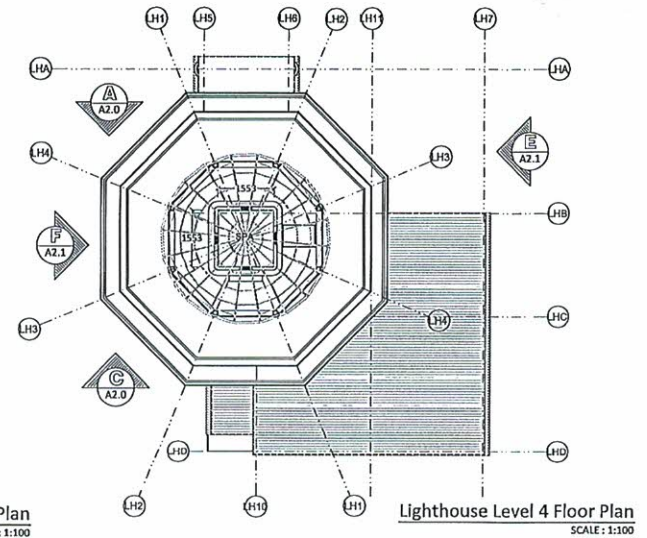
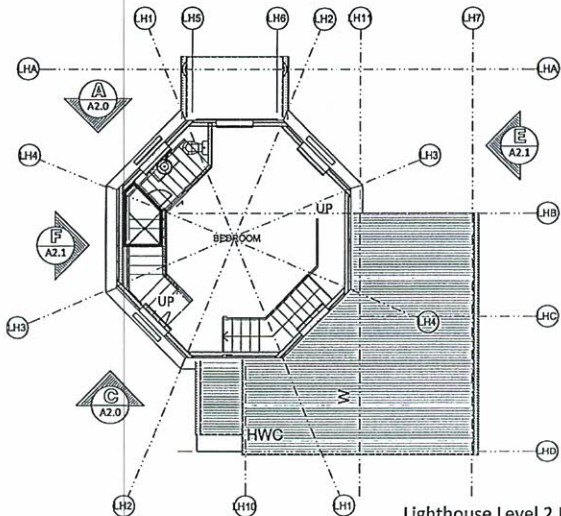
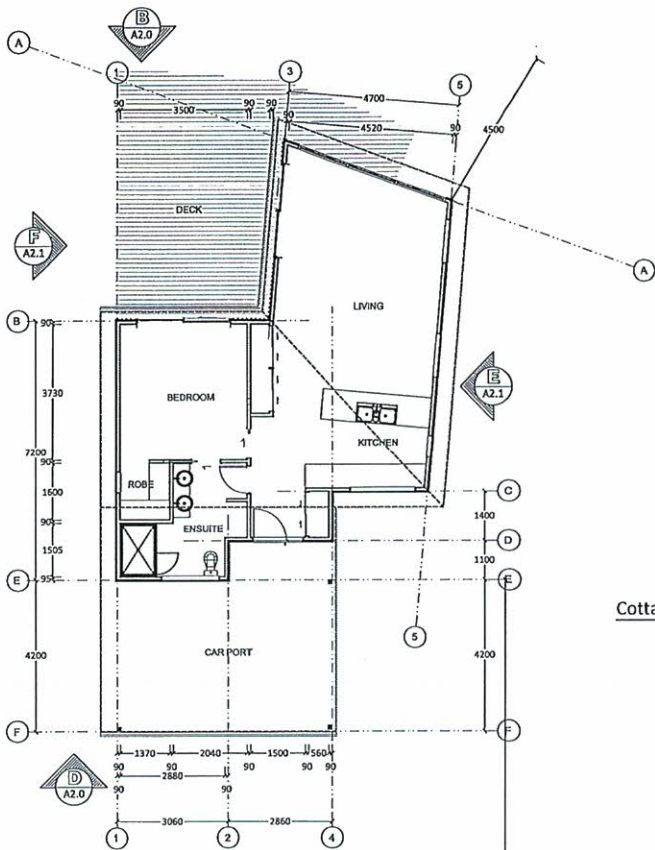
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AMENDMENT DATE:	VERSION:	JOB #
	A	2020-351

SHEET:

A2.1





**LEGEND**

- EXTERIOR LOAD BEARING WALLS  
RESINE INTEGRIA AAC PANEL SYSTEM ON 20mm VENTILATED CAVITY ON 90x45mm (STUDS @ 400mm CRS MAX) DWANGS @ 800mm CRS MAX, PAINT FINISHED 10mm GIB BD (ADHESIVE FIX IN MIDDLE AND GIB SCREWS) ON
- HERMAN PACIFIC VERTICAL CEDAR ON 20mm CAVBAT CAVITY ON 90x45mm (STUDS @ 400mm CRS MAX) DWANGS @ 400mm CRS MAX, PAINT FINISHED 10mm GIB BD (ADHESIVE FIX IN MIDDLE AND GIB SCREWS)
- INTERNAL NON-LOAD BEARING WALLS  
PAINT FINISHED 10mm (Min) GIB BD LINE, (SGS) H1.2 90 x 45 INTERNAL TIMBER FRAMING; STUDS @ 600 CTRS, DWANGS @ 500 CTRS (MAX) UP TO 2.7m STUD
- HUSH TYPE SMOKE DETECTORS

**NOTE**  
PROVIDE SELECTED GLOSS ENAMEL PAINT AND CERAMIC TILE SPLASH BACK FINISHES OVER 10mm GIB BOARD AQUALINE OVER H1.2 TIMBER FRAMED WALLS TO ALL WET AREAS (ENSUITE/ BATHROOM/LAUNDRY/ KITCHENS)

- GENERAL NOTES**
- ALL INTERIOR DOORS TO BE PAINT FINISHED FLUSH PANEL MDF HOLLOW CORE DOORS WITH SELECTED HARDWARE (810 X 2200 NOMINAL SIZE)
  - ALL CAVITY SLIDERS TO BE CS BRAND
  - ALL WINDOW AND DOOR DIMENSIONS SHOWN ARE ROUGH OPENING, SITE VERIFY PRIOR TO FABRICATION
  - KITCHEN DESIGN JOINERY DESIGN AND CONSTRUCTED BY OTHERS

SLIP RESISTANCE FOR TILES TO COMPLY WITH NZBC. REFER TO END OF THE SPECIFICATION FOR NZBC SLIP RESISTANCE TABLE (D/HAS: 2.1).

SHEET AND TILE FLOORING WHEN IN PLACE ON A LEVEL ACCESS ROUTE ARE TO HAVE A MEAN COEFFICIENT OF FRICTION (N) NOT LESS THAN 0.4 WHEN TESTED IN ACCORDANCE WITH AS/NZS 4588

SELECTED "GRIT FINISHED GLAZED TILES" TO 80 GRIT SANDPAPER FEEL ON LEVEL FINISH.

**NOTE:** ALL TILE FLOOR FINISH WET AREAS TO BE OVER APPROVED WATER PROOF MEMBRANE ("SUPERFLEX") REFER TO SPECIFICATION FOR INSTALLATION DETAILS

ENSURE TO INSTALL TILES TO WET AREAS UNDER PLUMBING FIXTURES I.E. UNDER WASHING MACHINE AND BATHROOM BASIN

Laser Designs - Pete Richards  
PHONE: (03) 315 8230  
ADDRESS: PO BOX 117 LEITHFIELD BEACH 7444  
EMAIL: pete.richards@lra.co.nz

**Development for Grondona Holdings Ltd**

DRAWING TITLE:

**Floor Plan**

**LEGAL DESCRIPTION:**  
Lot 2 DP 3856  
Address: Wakatu Quay Kaitiaki

**NOTES:**

- Subject to council approval
- All measurements to be confirmed on site by the contractor prior to the commencement of work

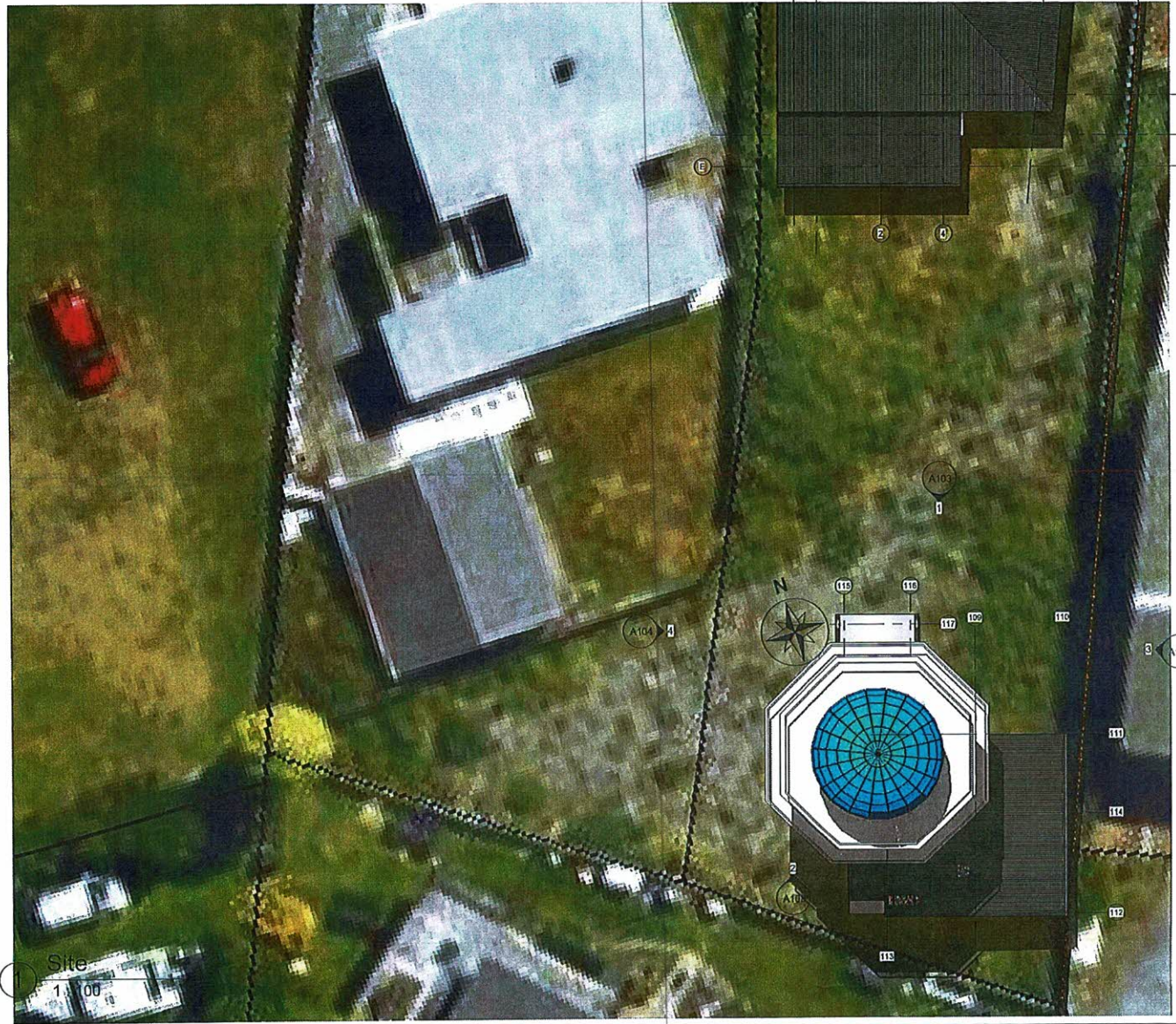
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AMENDMENT DATE:	VERSION: C	JOB # 2020-351

SHEET:

A3.0





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Notes:

Revision Schedule

Ref.	Description	Date

LASER DESIGNS

P.O Box 177 Leihfield Beach 7448

Project: No: 2020-351

**Grondona  
Holmes House**  
Address:  
The Esplanade  
Kaikoura

Client: Grondona Holmes

Issue Date: 05/28/19

Drawn By: Author

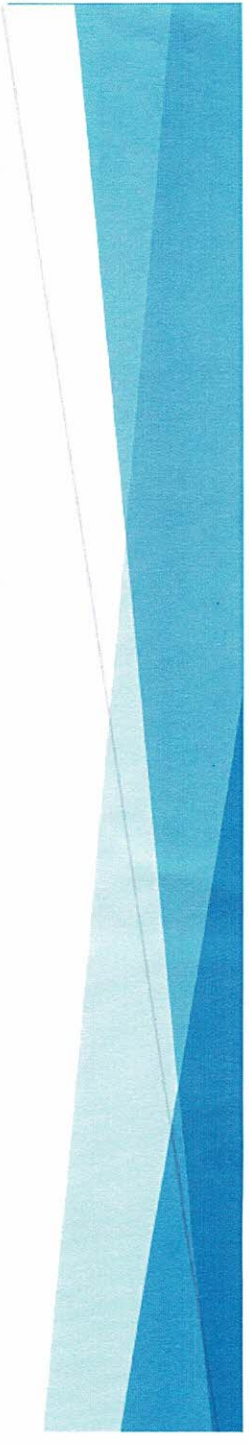
Reduced 1:100 - x 1.50  
Scales: 1:50 - x 0.75

Scale: 1 : 100

Sheet: Site Plan

**A101**

*Handwritten signatures and initials in the bottom left corner of the page.*



## **Assessment of Environmental Effects**

- 1-bedroom front townhouse/visitor accommodation,
- 1-bedroom lighthouse house/visitor accommodation at rear,
- 2 Wakatu Quay, Kaikoura

**Tania Ross**  
tross76@gmail.com



## Application for resource consent under section 88 of the Act

When applying for a resource consent under section 88 of the Act an assessment of environmental effects must be included, in accordance with Schedule 4. Schedule 4(2) requires the following matters to be addressed.

- *Any effects on those in the neighbourhood and, where relevant, the wider community including any socio-economic and cultural effects:*
- *Any physical effects on the locality, including any landscape or visual effects:*
- *Any effects on ecosystems.....*
- *Any effects on natural and physical resources having aesthetic, recreational, scientific, historical, spiritual, or cultural, or other special value for present and future generations:*
- *Any discharge of contaminants into the environment, including any unreasonable emission of noise and options for the treatment and disposal of contaminants:*
- *Any risk to the neighbourhood, the wider community, or the environment through natural hazards or the use of hazardous substances or hazardous installations.*

The subsection (1) of the fourth schedule to the Act lists matters that should be included in an assessment of effects on the environment.

Where it is likely that an activity will result in significant adverse effect on the environment, a description of any possible alternative locations or methods for undertaking the activity.

An assessment of the actual or potential effects on the environment of the proposed activity.

A description of mitigation measures to help prevent or reduce the actual or potential effects.

Identification of the persons affected by the proposal, the consultation undertaken, if any and any response to the views of any person consulted.

## Project

The applicant seeks resource consent to develop a one-bedroom townhouse to the front of the land situated at 2 Wakatu Quay, Kaikoura. This townhouse is to be used for visitor accommodation. The applicant is also seeking consent to develop a one-bedroom lighthouse house at the rear of the property to be for the owners use and occasional visitor accommodation. The front townhouse is a single level dwelling of 72m<sup>2</sup>. The lighthouse dwelling will be provided over four levels in one building, comprising of a total of 69m<sup>2</sup>. Accompanying the development of the built form will be earthworks, landscaping and the provision of access and on-site car parking. Resource consent is sought to allow for non-compliance with the internal boundary setbacks, height standards and recession plane standards. As both buildings are intended to be used for small scale accommodation, resource consent is also sought for visitor accommodation of up to four people in each dwelling. The details of the overall proposal are addressed below.

## Assessment of Environmental Effects

I have set out our assessment of effects under the heading's 'neighbourhood' addressing the neighbourhood where the project is located 'physical effects on the locality/landscape or visual effects' addressing as the heading states 'discharge' addressing servicing and storm water 'risk' addressing natural hazards and substances; 'amenity' addressing amenity; and 'positive effects' outlining the positive effects the proposed project will have on the area.

The following is my assessment of actual or potential effects & mitigating measures.

1  


## Neighbourhood

The site is located in Wakatu Quay close to the Wharf development and The Pier Hotel and Restaurant. The rest of the surrounding area is a mix of residential single dwellings, bare land, a block of flats, the Admiral Court Motel, and the Green Dolphin restaurant (not currently operating). Majority of the properties in this area are zoned residential A, except for some Business B land where The Pier Hotel, Green Dolphin Restaurant and Wharf are located. The area lends itself to a good mix of residential activity with commercial operations close by.

The area of Wakatu Quay is located approximately halfway in between the main township of Kaikoura and, the seal colony, a popular tourist destination in Kaikoura. Tourists and locals often drive, walk or bike from town to the seal colony and visit The Pier Restaurant on their way to or from.

The wharf development is a future focused project hoping to provide an area which enables commercial, recreational, and cultural activities. To also assist in showcasing local culture, food, beverage, and hospitality and provide a meeting place to share, enjoy and communicate. We feel that a feature building of a lighthouse which is a house and accommodation would complement this development and the surrounding area nicely. Such feature buildings bring visitors to town or encourage local families out for a walk, ride, or drive in the weekend to go and "see the lighthouse".

Being located in a picturesque coastal area, it can be reasoned that a lighthouse is fitting with the area as it is nautically themed and something one wouldn't expect to be out of place on a coastline.

The proposal to construct a brand-new town house and a brand-new home/feature building and accommodation, is one that we see as positive for the neighbourhood.

## Wider Community / Socio-economic and cultural effect

As tourism is one of Kaikoura's largest earning industries, it is important that when landowners who are willing to invest into the community, we, as a community support and encourage them to do so. Especially in the current global climate of Covid 19, and the uncertainty that Covid 19 poses to our country and community economically. Looking to the future, the more that Kaikoura has to offer visitors, the greater the benefit for the wider community.

This proposal is unique, as the owners are going for a statement home as opposed to an area built to gain large living space. The lighthouse design is one of passion, created to compliment the coastal environment in which it is being built. It will provide a unique feature for locals and tourists to admire which will be increased by the visitors sure to be attracted by the wharf development.

The site is in an archaeological area meaning that the applicant will be engaging an archaeological consultant to undertake an assessment of the project and property which will then be reviewed by Te Rūnunga o Kāiōura and Historic Places trust. Any recommendations made by entities will be adhered to as well as cultural monitoring of the project when any earthworks are undertaken.

As the dwellings will be offered as small scale yet high-quality short-term accommodation, the applicants would like to provide information in each of the dwellings offering an overview of the history and culture of Kaikoura. The visitors will be able to read about the history of Kaikoura in the





documents provided in the accommodation and will be located close to the wharf development which will be rich in information of the history and culture of Kaikoura. Not to mention the Fyfe historic area just down the road.

Tourism provides opportunity to Kaikoura and allows for businesses like cafes, restaurants, gift shops and clothes shops to do a wider trade. The proposed project complements this well. Visitors are often looking for that something different which they will definitely find in the lighthouse project.

### **Physical effects on the locality/landscape or visual effects**

The front dwelling is a 72m<sup>2</sup> single story, one bedroom townhouse intended for small-scale, short-term holiday accommodation. The applicant intends to provide this dwelling with an indoor garden as well as outdoor living. The dwelling will have a lawn, deck, carport and turning area. This building is of modern design and features a coloursteel roof and Resene Integra AAC Panel and Plaster System. To make the most of the long and slim site and provide room for a driveway providing access to the rear of the property, the cottage is proposed to be 1.2m off the internal western boundary and breaks the recession planes slightly which can be viewed on plan A2.0 provided. Everything will comply with current building requirements and is expected to have no outstanding effects on the locality, landscape, or visual effects.

Significant landscaping will be provided to be of a positive effect to both dwellings and an asphalt driveway will connect the dwellings and provide ample turning space for vehicles.

The back dwelling is a four storey, 1 bedroom dwelling in the shape of a lighthouse. Because of the lighthouse design, this makes the dwelling relatively tall at 16m in height, the maximum height restriction in this area is 8m. Although it is a tall dwelling, it is not wide at height and has been positioned on the site to have minimal to no impact on bounding neighbours shading and views as outlined below. Please refer to the site plan A1.0 attached for a bird's eye view of the proposed dwelling positioned on site. The top story is intended as an observation area, so it is mainly glass, allowing views and light to remain. The observation area is to take advantage of the beautiful Kaikoura night sky. This will be maintained to a high level of cleanliness with the use of magnetic cleaners.

When reviewing the bounding properties, the following is noted:

1 Wakatu Quay – the current location of the dwelling will not be affected by the height of the proposed building as their views are in the opposite direction and the position of sun in daylight hours in relation to the position of the lighthouse mean that the sun travels to the front of the lighthouse in relation to this property.

3 Wakatu Quay – the proposed lighthouse dwelling sits to the rear of their existing dwelling which is mainly occupied by garaging, 1 bedroom, and small bathroom. As the sun rises in the east, the windows of the rooms upstairs will still get ample morning sun and the living of this property is all directed to the front of the property where no shading will occur.



15 Avoca Street – it looks as though there may be some shading and view obstructions to the parking and garaging area. The full effects of this will need to be ascertained through discussion with the homeowner. Referring to the picture provided below, it looks as though their living is directed towards the north to northwest of the property which would receive no sun shading due to the location of the lighthouse and where the sun rises and sets.

8/17 Avoca Street – only a small part of their boundary touches 2 Wakatu Quay. The area of boundary that connects with 2 Wakatu Quay is in the driveway which is a parking and manoeuvring area. There is access to the flats from the parking area, but their frontage is towards Avoca Street. The lighthouse is too far from the flats to cause them shading.

The applicant is aware that their non-compliance with the height restriction and recession plane rules may be of concern to some of the neighbours but would like the lighthouse as it is designed to keep it looking authentic and make it the icon for Kaikoura that it is intended to be. They would like to focus on the positive effects of the proposed dwelling and will be undergoing extensive neighbouring consultation as part of this process to reassure neighbours of the positive aspects of the proposal and that site positioning has been thought out to minimise any possible concerns.



*Immediately bounding neighbours outlined in yellow, 2 Wakatu Quay outlined in red.*



## **Discharge**

The proposed dwellings will connect to the town water, sewer, and stormwater supply. We see no issue in this area.

## **Risk**

The location of this property is close to the ocean so there is a risk of inundation from the sea due to a severe weather event or earthquake/tsunami. In November 2016 there was a 7.8 magnitude earthquake in Kaikoura. All the houses in this area handled the earthquake well, all being white stickered after the event and there was no inundation.

The proposed dwellings will not pose any increased risk to those mentioned above.

There are no hazards noted on the property in the Kaikoura District Plan or on Environment Canterbury's listed land use register.

The intended accommodation to be offered is on a relatively small scale making it less likely that any tourism opportunities at this property will result in having an adverse effect on the environment. Guests will also be advised of the cultural significance of the area.

## **Amenity**

The proposed dwellings will have a positive effect to the amenity of the area by developing this area of land. The dwellings proposed will both be built to a high standard and the proposed landscaping plan will provide the property with lots of greenery and plantings.

The proposed lighthouse dwelling will encroach on the recession lines and height restrictions however, as this is not a house of "regular design" it is not one that will be easily copied meaning that, if allowances are made in this instance, then precedence is unlikely to be set.

Kaikoura is a coastal town, meaning that seeing a lighthouse along its coastline is not out of character. The fact that the lighthouse is a house will be of fun appeal to many.

The property lends itself nicely to be able to accommodate 2 one-bedroom dwellings. The shape of the site is long and slim meaning there is ample room between the dwellings while still allowing for large outdoor space and making the most of the views to the coast at Wakatu Quay from the single level dwelling. Both dwellings have been designed smartly to make the best use of the shape of the land parcel. 2 parking spaces per apartment are available and a minimum of 70m<sup>2</sup> of outdoor living area per dwelling is also easily available. From an amenity standpoint it will be a highly presented property with a feel of open space. Having the owners able to be onsite more means that security will be higher and short-term accommodation can be offered with less risk of guests being noisy or causing any damage.

The owners will be undertaking extensive neighbour consultation and believe that their bounding neighbours will be excited about the proposal and the amenity their project will offer.

Essentially, breaking this proposal down into simple terms. The proposal is not for an intrusive or hazardous activity. Its purpose is not outside of what is currently in the area. It is a couple who are

willing to invest their time and money into a feature project for the community of Kaikoura. Once the Wharf development is finished, this area of town will be regularly frequented by visitors and locals. It was always predicted that with the Pier Hotel and Restaurant, the great landscape and views and the wharf development, that this area would be likely to see enhancing change. The proposed dwelling is positive and fitting with this and will yet again put Kaikoura on the map for embracing its coastal lifestyle. First the craypot, now the lighthouse.

### **Positive Effects**

The proposed development is to construct 2 brand new, high quality one-bedroom dwellings on the land situated at 2 Wakatu Quay. Both to be available for short term visitor accommodation.

When reading Kaikoura District Councils Long Term Plan, it is interested to note the following observations:

***Kaikōura's local economy has been estimated to have around 40% of gross domestic product (GDP) reliant upon tourism, and around 50% of the workforce is directly dependent upon visitor spend, while a further 35% support tourism indirectly.***

Following the global pandemic and now two lockdowns for New Zealand, it is imperative to our country and especially to our town, that we encourage any development that landowners are willing to invest.

Kaikoura's benefits from tourism continue to increase as the years pass. We have just opened the newly renovated Mayfair theatre, we have world class bike trails and a mountain bike adventure park, the new pool complex, new restaurants, and notable developments such as Bernie's Diner and Car Museum. All these things and more are bringing visitors to the district in huge numbers and giving them a reason to stay 1-2 nights in our town.

This proposal is of triple benefit as it is a development which will provide work and trade locally, it will offer small-scale, short-term accommodation and lastly it will become a feature for Kaikoura. A feature that people will come to our town specially to see or stay in. It will be a talking point and a building to be admired. This is a positive for Kaikoura.

When addressing the noted effects of Development and Tourism in the District Plan it is easy to see the positives of the proposed project:

**Issue 1 – Effects of Urban Growth** – Although this proposal is for 2 dwellings, both dwellings are only one bedroom meaning that we are providing for urban growth with little effect on natural and physical resources, while upgrading current amenity and providing opportunity for visitors.

**Issue 2 - Efficient Use of Physical Infrastructure** – Looking at the bird's eye view of the surrounding area pictured below, this land sits right in the middle of an area that is intended to be developed and by developing here it is an efficient use of existing infrastructure.





Birds eye view of the Wakatu Quay area, 2 Wakatu Quay outlined in red

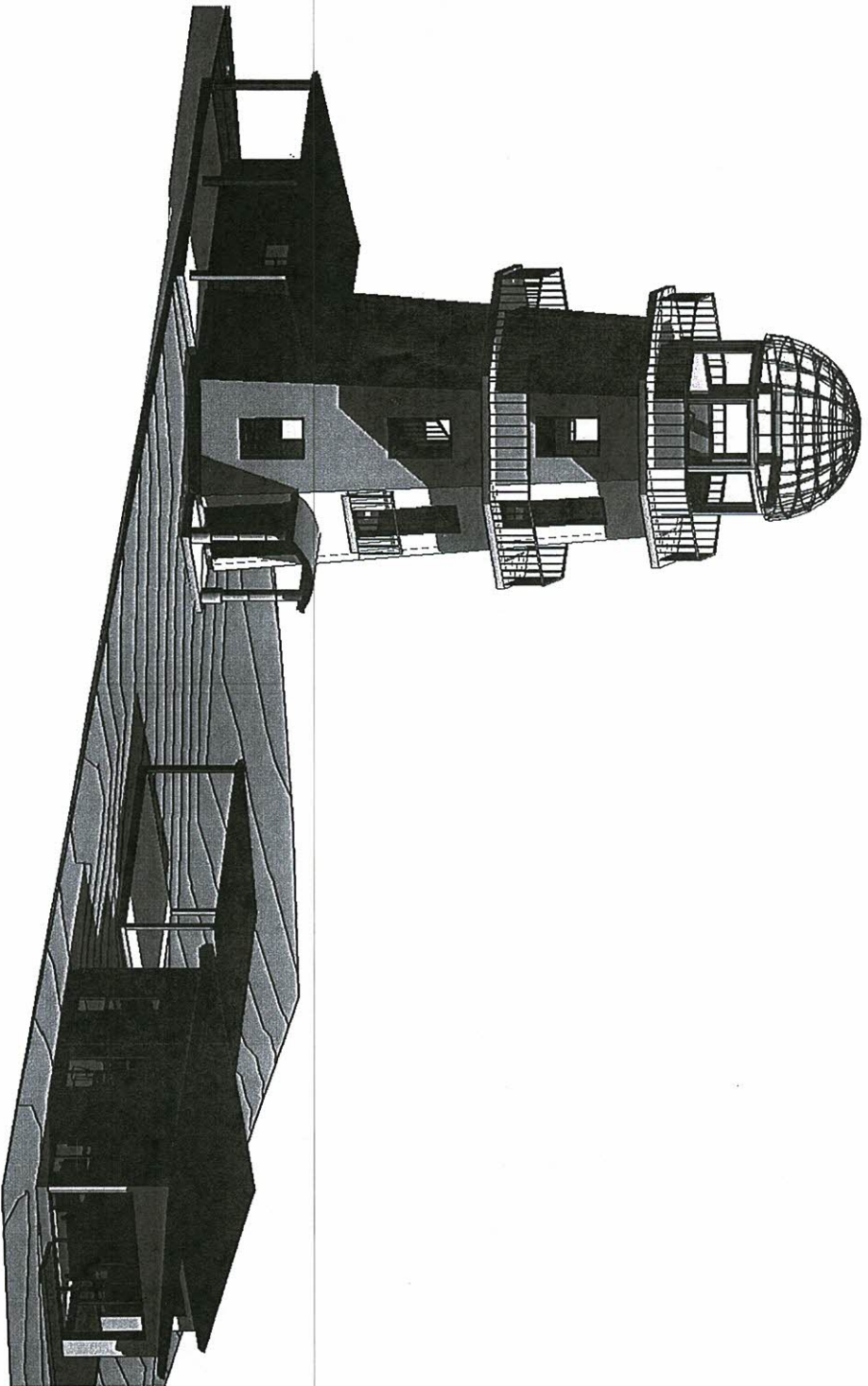
**Issue 3 - Growth and Development of Commercial Activities** - Although no firm plans have been officially announced for the 10-million-dollar wharf development, discussions with the project team can confirm that the area will not be offering accommodation. It is likely to encompass tourism activities, a café and restaurant and possibly some retail space depending on who chooses to come on board with the venture. 2 Wakatu Quay will be a wonderful option for those visiting Kaitiaki, being close to commercial operations such as the Wharf, Green Dolphin Restaurant and The Pier Hotel and Restaurant. It is also close to Fyffe House, the Seal Colony and the Peninsula Walk, all popular tourist attractions of Kaitiaki, not to mention the breath-taking scenery. Accommodation in this area is sort after.

**Issue 4 - Kaitiaki's Character and Townscape** – There are a few key points which stand out here and align with the proposed development.

- 1) *To encourage developers and tourist operators to undertake activities in a manner which recognises and enhances Kaitiaki's "small coastal village" character.* A lighthouse as accommodation in a "small coastal village" very fitting and appealing.
- 2) *To provide for certain types of tourist activities in specific areas, such as the airport, the Kaitiaki Peninsula Tourism Zone, and the Whaleway Station, where higher noise levels are appropriate.* The proposed development is in keeping with the current activities of the

7  
G.R.R.





*Arch*



**Customer Services**  
**P. 03 353 9007 or 0800 324 636**

PO Box 345  
Christchurch 8140

P. 03 365 3828  
F. 03 365 3194  
E. [ecinfo@ecan.govt.nz](mailto:ecinfo@ecan.govt.nz)

[www.ecan.govt.nz](http://www.ecan.govt.nz)

Dear Sir/Madam

Thank you for submitting your property enquiry from our Listed Land Use Register (LLUR). The LLUR holds information about sites that have been used or are currently used for activities which have the potential to cause contamination.

The LLUR statement shows the land parcel(s) you enquired about and provides information regarding any potential LLUR sites within a specified radius.

Please note that if a property is not currently registered on the LLUR, it does not mean that an activity with the potential to cause contamination has never occurred, or is not currently occurring there. The LLUR database is not complete, and new sites are regularly being added as we receive information and conduct our own investigations into current and historic land uses.

The LLUR only contains information held by Environment Canterbury in relation to contaminated or potentially contaminated land; additional relevant information may be held in other files (for example consent and enforcement files).

Please contact Environment Canterbury if you wish to discuss the contents of this property statement.

Yours sincerely

**Contaminated Sites Team**

# Property Statement from the Listed Land Use Register

Visit [ecan.govt.nz/HAIL](http://ecan.govt.nz/HAIL) for more information or contact Customer Services at [ecan.govt.nz/contact/](http://ecan.govt.nz/contact/) and quote ENQ302756

**Date generated:** 08 December 2021  
**Land parcels:** Lot 2 DP 3886



The information presented in this map is specific to the property you have selected. Information on nearby properties may not be shown on this map, even if the property is visible.

## Sites at a glance

**Sites within enquiry area** (Pink outline)

There are no sites associated with the area of enquiry.

## More detail about the sites

There are no sites associated with the area of enquiry.

## Disclaimer

The enclosed information is derived from Environment Canterbury's Listed Land Use Register and is made available to you under the Local Government Official Information and Meetings Act 1987.

The information contained in this report reflects the current records held by Environment Canterbury regarding the activities undertaken on the site, its possible contamination and based on that information, the categorisation of the site. Environment Canterbury has not verified the



accuracy or completeness of this information. It is released only as a copy of Environment Canterbury's records and is not intended to provide a full, complete or totally accurate assessment of the site. It is provided on the basis that Environment Canterbury makes no warranty or representation regarding the reliability, accuracy or completeness of the information provided or the level of contamination (if any) at the relevant site or that the site is suitable or otherwise for any particular purpose. Environment Canterbury accepts no responsibility for any loss, cost, damage or expense any person may incur as a result of the use, reference to or reliance on the information contained in this report.

Any person receiving and using this information is bound by the provisions of the Privacy Act 1993.

# Listed Land Use Register

## What you need to know



## What is the Listed Land Use Register (LLUR)?

The LLUR is a database that Environment Canterbury uses to manage information about land that is, or has been, associated with the use, storage or disposal of hazardous substances.

## Why do we need the LLUR?

Some activities and industries are hazardous and can potentially contaminate land or water. We need the LLUR to help us manage information about land which could pose a risk to your health and the environment because of its current or former land use.

Section 30 of the Resource Management Act (RMA, 1991) requires Environment Canterbury to investigate, identify and monitor contaminated land. To do this we follow national guidelines and use the LLUR to help us manage the information.

The information we collect also helps your local district or city council to fulfil its functions under the RMA. One of these is implementing the National Environmental Standard (NES) for Assessing and Managing Contaminants in Soil, which came into effect on 1 January 2012.

For information on the NES, contact your city or district council.

## How does Environment Canterbury identify sites to be included on the LLUR?

We identify sites to be included on the LLUR based on a list of land uses produced by the Ministry for the Environment (MfE). This is called the Hazardous Activities and Industries List (HAIL)<sup>1</sup>. The HAIL has 53 different activities, and includes land uses such as fuel storage sites, orchards, timber treatment yards, landfills, sheep dips and any other activities where hazardous substances could cause land and water contamination.

### We have two main ways of identifying HAIL sites:

- We are actively identifying sites in each district using historic records and aerial photographs. This project started in 2008 and is ongoing.
- We also receive information from other sources, such as environmental site investigation reports submitted to us as a requirement of the Regional Plan, and in resource consent applications.

<sup>1</sup>The Hazardous Activities and Industries List (HAIL) can be downloaded from MfE's website [www.mfe.govt.nz](http://www.mfe.govt.nz), keyword search HAIL

## How does Environment Canterbury classify sites on the LLUR?

Where we have identified a HAIL land use, we review all the available information, which may include investigation reports if we have them. We then assign the site a category on the LLUR. The category is intended to best describe what we know about the land use and potential contamination at the site and is signed off by a senior staff member.

Please refer to the Site Categories and Definitions factsheet for further information.

## What does Environment Canterbury do with the information on the LLUR?

The LLUR is available online at [www.llur.ecan.govt.nz](http://www.llur.ecan.govt.nz). We mainly receive enquiries from potential property buyers and environmental consultants or engineers working on sites. An inquirer would typically receive a summary of any information we hold, including the category assigned to the site and a list of any investigation reports.

We may also use the information to prioritise sites for further investigation, remediation and management, to aid with planning, and to help assess resource consent applications. These are some of our other responsibilities under the RMA.

If you are conducting an environmental investigation or removing an underground storage tank at your property, you will need to comply with the rules in the Regional Plan and send us a copy of the report. This means we can keep our records accurate and up-to-date, and we can assign your property an appropriate category on the LLUR. To find out more, visit [www.ecan.govt.nz/HAIL](http://www.ecan.govt.nz/HAIL).



## My land is on the LLUR – what should I do now?

**IMPORTANT!** Just because your property has a land use that is deemed hazardous or is on the LLUR, it doesn't necessarily mean it's contaminated. The only way to know if land is contaminated is by carrying out a detailed site investigation, which involves collecting and testing soil samples.

You do not need to do anything if your land is on the LLUR and you have no plans to alter it in any way. It is important that you let a tenant or buyer know your land is on the Listed Land Use Register if you intend to rent or sell your property. If you are not sure what you need to tell the other party, you should seek legal advice.

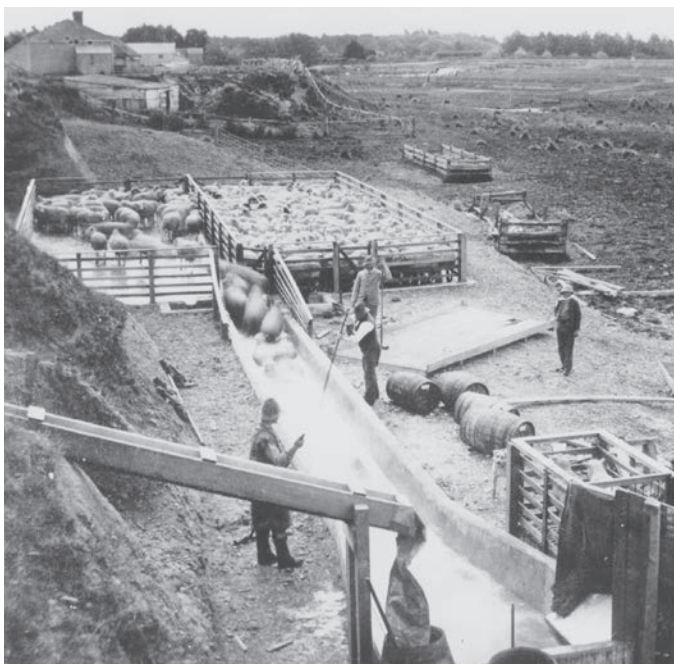
You may choose to have your property further investigated for your own peace of mind, or because you want to do one of the activities covered by the National Environmental Standard for Assessing and Managing Contaminants in Soil. Your district or city council will provide further information.

If you wish to engage a suitably qualified experienced practitioner to undertake a detailed site investigation, there are criteria for choosing a practitioner on [www.ecan.govt.nz/HAIL](http://www.ecan.govt.nz/HAIL).



## IMPORTANT!

The LLUR is an online database which we are continually updating. A property may not currently be registered on the LLUR, but this does not necessarily mean that it hasn't had a HAIL use in the past.



Sheep dipping (ABOVE) and gas works (TOP) are among the former land uses that have been identified as potentially hazardous. (Photo above by Wheeler & Son in 1987, courtesy of Canterbury Museum.)

## I think my site category is incorrect – how can I change it?

If you have an environmental investigation undertaken at your site, you must send us the report and we will review the LLUR category based on the information you provide. Similarly, if you have information that clearly shows your site has not been associated with HAIL activities (eg. a preliminary site investigation), or if other HAIL activities have occurred which we have not listed, we need to know about it so that our records are accurate.

If we have incorrectly identified that a HAIL activity has occurred at a site, it will be not be removed from the LLUR but categorised as Verified Non-HAIL. This helps us to ensure that the same site is not re-identified in the future.

## Contact us

Property owners have the right to look at all the information Environment Canterbury holds about their properties.

It is free to check the information on the LLUR, online at [www.llur.ecan.govt.nz](http://www.llur.ecan.govt.nz).

If you don't have access to the internet, you can enquire about a specific site by phoning us on (03) 353 9007 or toll free on 0800 EC INFO (32 4636) during business hours.

### Contact Environment Canterbury:

Email: [ecinfo@ecan.govt.nz](mailto:ecinfo@ecan.govt.nz)

### Phone:

Calling from Christchurch: (03) 353 9007

Calling from any other area: 0800 EC INFO (32 4636)



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E13/101



# Listed Land Use Register

## Site categories and definitions

When Environment Canterbury identifies a Hazardous Activities and Industries List (HAIL) land use, we review the available information and assign the site a category on the Listed Land Use Register. The category is intended to best describe what we know about the land use.

If a site is categorised as **Unverified** it means it has been reported or identified as one that appears on the HAIL, but the land use has not been confirmed with the property owner.

**If the land use has been confirmed but analytical information from the collection of samples is not available, and the presence or absence of contamination has therefore not been determined, the site is registered as:**

### **Not investigated:**

- A site whose past or present use has been reported and verified as one that appears on the HAIL.
- The site has not been investigated, which might typically include sampling and analysis of site soil, water and/or ambient air, and assessment of the associated analytical data.
- There is insufficient information to characterise any risks to human health or the environment from those activities undertaken on the site. Contamination may have occurred, but should not be assumed to have occurred.

**If analytical information from the collection of samples is available, the site can be registered in one of six ways:**

### **At or below background concentrations:**

The site has been investigated or remediated. The investigation or post remediation validation results confirm there are no hazardous substances above local background concentrations other than those that occur naturally in the area. The investigation or validation sampling has been sufficiently detailed to characterise the site.

### **Below guideline values for:**

The site has been investigated. Results show that there are hazardous substances present at the site but indicate that any adverse effects or risks to people and/or the environment are considered to be so low as to be acceptable. The site may have been remediated to reduce contamination to this level, and samples taken after remediation confirm this.

### **Managed for:**

The site has been investigated. Results show that there are hazardous substances present at the site in concentrations that have the potential to cause adverse effects or risks to people and/or the environment. However, those risks are considered managed because:

- the nature of the use of the site prevents human and/or ecological exposure to the risks; and/or
- the land has been altered in some way and/or restrictions have been placed on the way it is used which prevent human and/or ecological exposure to the risks.

### **Partially investigated:**

The site has been partially investigated. Results:

- demonstrate there are hazardous substances present at the site; however, there is insufficient information to quantify any adverse effects or risks to people or the environment; or
- do not adequately verify the presence or absence of contamination associated with all HAIL activities that are and/or have been undertaken on the site.

### **Significant adverse environmental effects:**

The site has been investigated. Results show that sediment, groundwater or surface water contains hazardous substances that:

- have significant adverse effects on the environment; or
- are reasonably likely to have significant adverse effects on the environment.

### **Contaminated:**

The site has been investigated. Results show that the land has a hazardous substance in or on it that:

- has significant adverse effects on human health and/or the environment; and/or
- is reasonably likely to have significant adverse effects on human health and/or the environment.

**If a site has been included incorrectly on the Listed Land Use Register as having a HAIL, it will not be removed but will be registered as:**

### **Verified non-HAIL:**

Information shows that this site has never been associated with any of the specific activities or industries on the HAIL.

Please contact Environment Canterbury for further information:

(03) 353 9007 or toll free  
on 0800 EC INFO (32 4636)  
email [ecinfo@ecan.govt.nz](mailto:ecinfo@ecan.govt.nz)

# 2 Wakatu Quay, Kaikōura

Archaeological site appraisal  
*Heritage New Zealand Pouhere Taonga Act 2014*

Report prepared by:

Deb Foster

**Deb Foster Archaeological Consultancy**

55 High Street | Motueka 7120

Ph: 027 241 7837 | E: [mamakunelson@xtra.co.nz](mailto:mamakunelson@xtra.co.nz)

## Project summary

Archaeological site no.	<b>O31/30</b>
Archaeological authority required	<b>YES</b>
Extant pre-1900 structures	<b>NO</b>
Site of archaeological interest to Māori	<b>YES</b>
Site address	2 Wakatu Quay, Kaikōura
Appellation	Lot 2 DP 3886
Rating hectares	0.06
Client	Grondona Holmes
Client contact details	c/- Tania Ross <a href="mailto:tsross76@gmail.com">tsross76@gmail.com</a> 027 482 6421
Report author	Deb Foster
Report submitted	28/11/2021

## Ownership and Disclaimer

This report has been prepared for Elona Grondona in relation to the proposed construction of two new buildings at 2 Wakatu Quay, Kaikōura, Canterbury District. This report and the information contained herein are subject to copyright. Ownership of the primary materials created during the research remains the property of the author and Deb Foster Archaeological Consultancy. This report remains the property of Grondona Holmes and Deb Foster Archaeological Consultancy.

The professional advice and opinions contained in this report are those of Deb Foster Archaeological Consultancy, and do not represent the opinions and policies of any third party. The professional advice and opinions contained in this report do not constitute legal advice, or in any way constitute a statement of Tangata Whenua cultural values. Te Rūnanga o Kaikōura are best placed to comment on the cultural values of the site and wider area.



## Project outline<sup>1</sup>

The client is seeking Resource Consent to build a dwelling and a separate Lighthouse on their bare section at 2 Wakatu Quay, Kaikōura (Figure 1 and Figure 2). The single storey dwelling is at the front of the property and the Lighthouse is to the rear (Figure 3 and Figure 4). The section is reasonably flat.

Planning is at the conceptual stage. Foundation plans have not yet been finalised, as this will depend on the granting of RC and an engineer's report. Building consent will not be sought until Resource Consent has been granted.

Excavations will be required to connect services to both buildings, but the locations and extents have not been specified. Services are currently in place down the boundary fence with 1 Wakatu Quay.

The foundation designs, to be advised, will dictate the necessary excavation depths for the buildings.

## Historical background

The subject land parcel, Lot 2 DP 3886, was formed in 1971 when Section 98 Town of Kaikōura was subdivided into three separate titles (Figure 5). This 1971 plan shows the footprint of a single dwelling on the neighbouring property, Lot 1 DP 3886, but no other buildings on Section 98.

An earlier survey map, SO 1098, dated 1913, shows Sections 96 and 98 were both vacant at this time (Figure 6). Similarly, DP 432, dated 1910, shows Section 98 to be vacant land (Figure 7). Pre-1900 European occupation of Section 98 could therefore not be determined based on available historic records.

The subject property is within the area covered by site record O31/30, now considered a generic or "umbrella" record because it covers such a large area. The site record was created by Tony Fomison in 1963 and describes ovens, burials and midden covering the "beachside flat extending into the sea from the terrace edge of Kaikoura Peninsula, between the Old Wharf (at Fyffe Whaling Station) and the new wharf (at the Pier Hotel)". The area covered is 600 m long x 150 m wide. Since the 1980's it has become the norm to restrict the extent of site O31/30 to the flat immediately north of Beacon Hill, best known as the site of early Moa-hunter occupation and a burial complete with moa egg. Separate exposures of material to the north-west of this area have since been allocated individual site numbers.

There are no recorded sites on or close to the subject property, but this might be explained by a lack of previous opportunity for informed observation of subsurface deposits. Site O31/30 is named in this summary as the affected site, but there is no evidence to date that the type of deposits described (i.e., ovens, burials, and midden) are present on the property, but nor is

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<sup>1</sup> Based on information provided by Tania Ross and Elona Grondona in emails exchanged from 18/10/21 - 9/11/2021.

there any proof that they are absent. A copy of the O31/30 site record is attached at the end of this report as Appendix A.

The nearest recorded sites are illustrated in Figure 8. The sites of most relevance are O31/158 (ca. 80 m away), O31/165 (ca. 120 m away) and O31/115 (ca. 150m away). These three sites record midden and oven remains indicative of widespread occupation of the flat back beach area.

## **Previous archaeological works on and near the property**

“Fossicking” for artefacts was a common pastime for locals, especially in areas of known Māori occupation which were disturbed by earthworks for residential or commercial development (such as Native Reserve F at South Bay). This may have occurred here, but no records of finds specifically attributed to this property have surfaced to date.

### 2019 Chorus UFB fibre optic cable duct installation works along the front of the property Authority 2019/409

Open trench excavations to 0.5 m depth for the installation of Chorus UFB (Ultra-Fast Broadband) fibre-optic cable ducting took place along the front of 2 Wakatu Quay in December 2019. No subsurface archaeology was identified (Hamish Williams pers.comm.)

### 2020 Pier Hotel, 1 Avoca Street by Deb Foster and Hamish Williams Authority 2020/622

Earthquake strengthening of the Pier Hotel required some excavation for structural upgrades potentially affecting archaeological deposits identified during trenching for fibre optic cable ducting along the Hotel’s Esplanade frontage in 2019. Finds included a flake of chert and a chip of polished argillite in a potentially disturbed context at the base of one of the excavations (report in prep).

### 2020 Assessment of Wakatu Quay wharf redevelopment by Deb Foster and Hamish Williams

Assessment of the new wharf area found that major reclamation had occurred over the outcropping limestone reefs, and that the area was previously underwater at high tide and therefore not habitable. Redevelopment within the reclaimed area would not require archaeological Authority although service connections approaching that area would need require further assessment.

## **Discussion and recommendations**

Tectonic uplift of the Peninsula and surrounding coastal area has been calculated by geologists as being up to 2 mm per year, therefore it is possible that the front part of the property might have been intertidal for part of the Māori occupation sequence. This hypothesis is supported by the absence of any cultural material found in the trenching for fibre optic cable ducting along the front of the property in late 2019. Right across the property, ground conditions are likely to be very rocky, mainly made up of limestone rubble and rounded rocks and stones of an uplifted beach terrace. There may be higher soil content closer to the Avoca Street end of the property where the Lighthouse will be built. Here too, chances of archaeological discovery are higher, with back beach coastal areas being a favoured place of settlement.

In this case, the location and setting of the property are the main factors in determining that the overall risk of archaeological discovery is high. It is recommended that a general archaeological Authority is sought to mitigate the risk of discovery of archaeological material during ground disturbance. This will allow for monitoring of the works and reporting of any finds, in accordance with the *Heritage New Zealand Pouhere Taonga Act 2014*.

A full archaeological assessment required to support a general authority application can only be completed once the building plans have been finalised and the nature and extent of any groundworks confirmed. If test pitting or other forms of geotechnical investigations need to be carried out for purposes of informing foundations design, an exploratory archaeological authority might need to first be obtained. The architect/consulting engineer should be made aware of this, and an archaeologist consulted accordingly.

Application for a general archaeological authority requires evidence of consultation with tangata whenua - Te Rūnanga o Kaikōura (TROK). Consultation with tangata whenua is not required under the Act for an exploratory archaeological authority application but is encouraged by Heritage New Zealand Pouhere Taonga as a best practice approach. The client may wish to approach TROK ahead of any Archaeological Authority application to gauge the tenor of their views and to seek a Cultural Values Statement.





Figure 1. Overview of site location 2 Wakatu Quay – marked in red (imagery after [Canterburymaps.govt.nz](http://Canterburymaps.govt.nz))



Figure 2. Detail of site location 2 Wakatu Quay – property marked in red (imagery after [Canterburymaps.govt.nz](http://Canterburymaps.govt.nz))



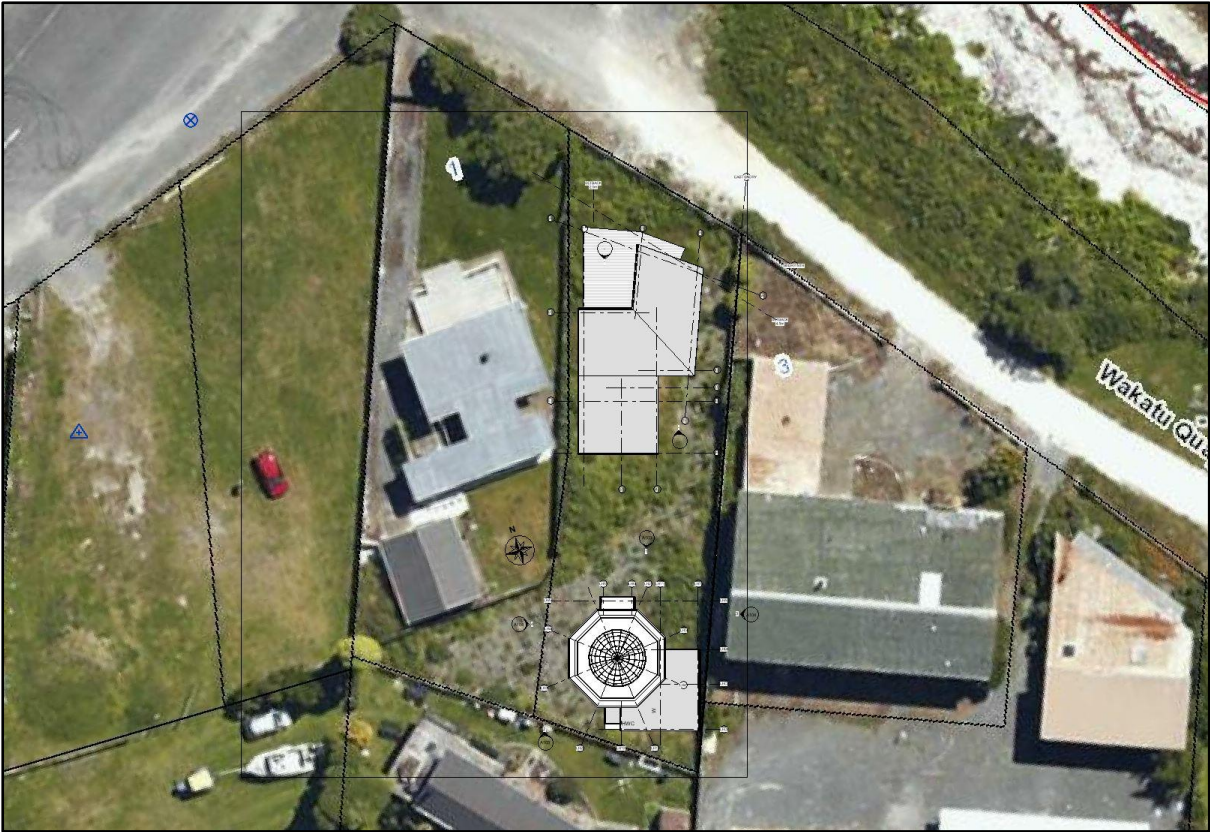


Figure 3. Aerial view of proposed building layout (supplied by Tania Ross)

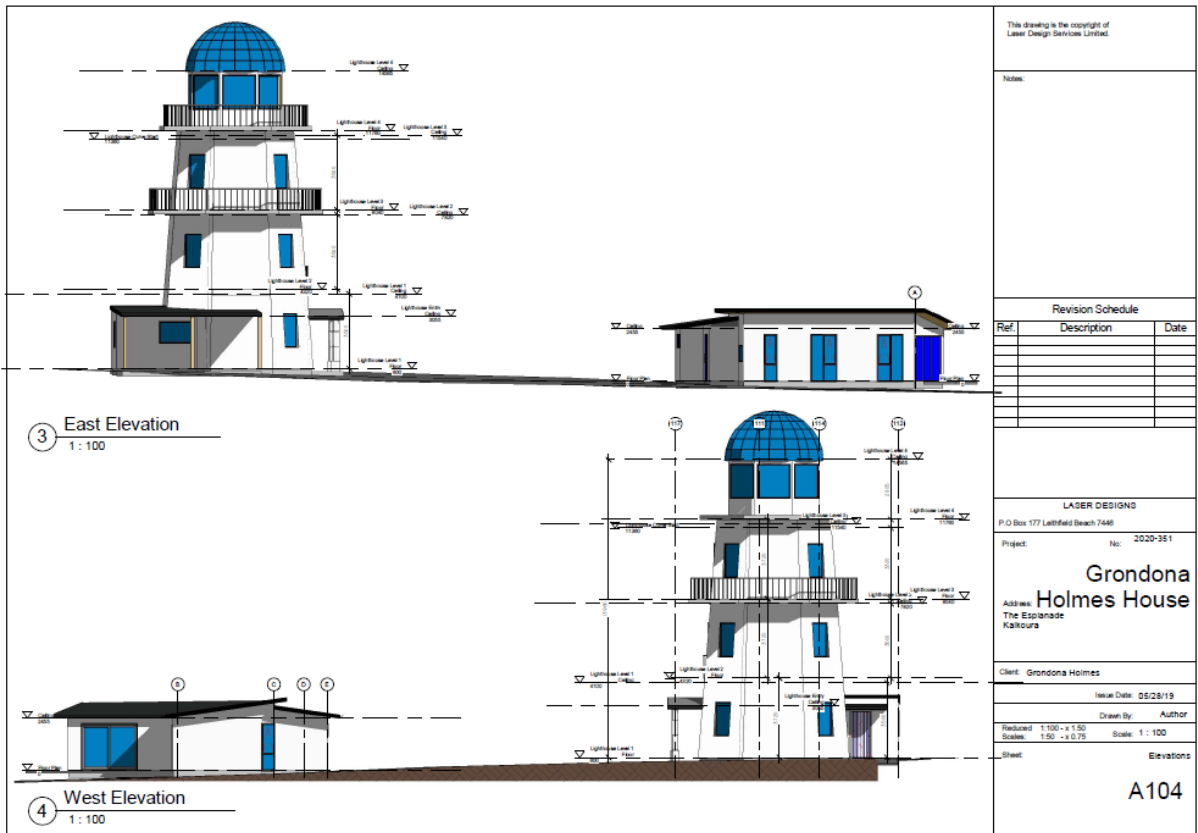


Figure 4. Preliminary design of the two buildings (no foundations detail shown).

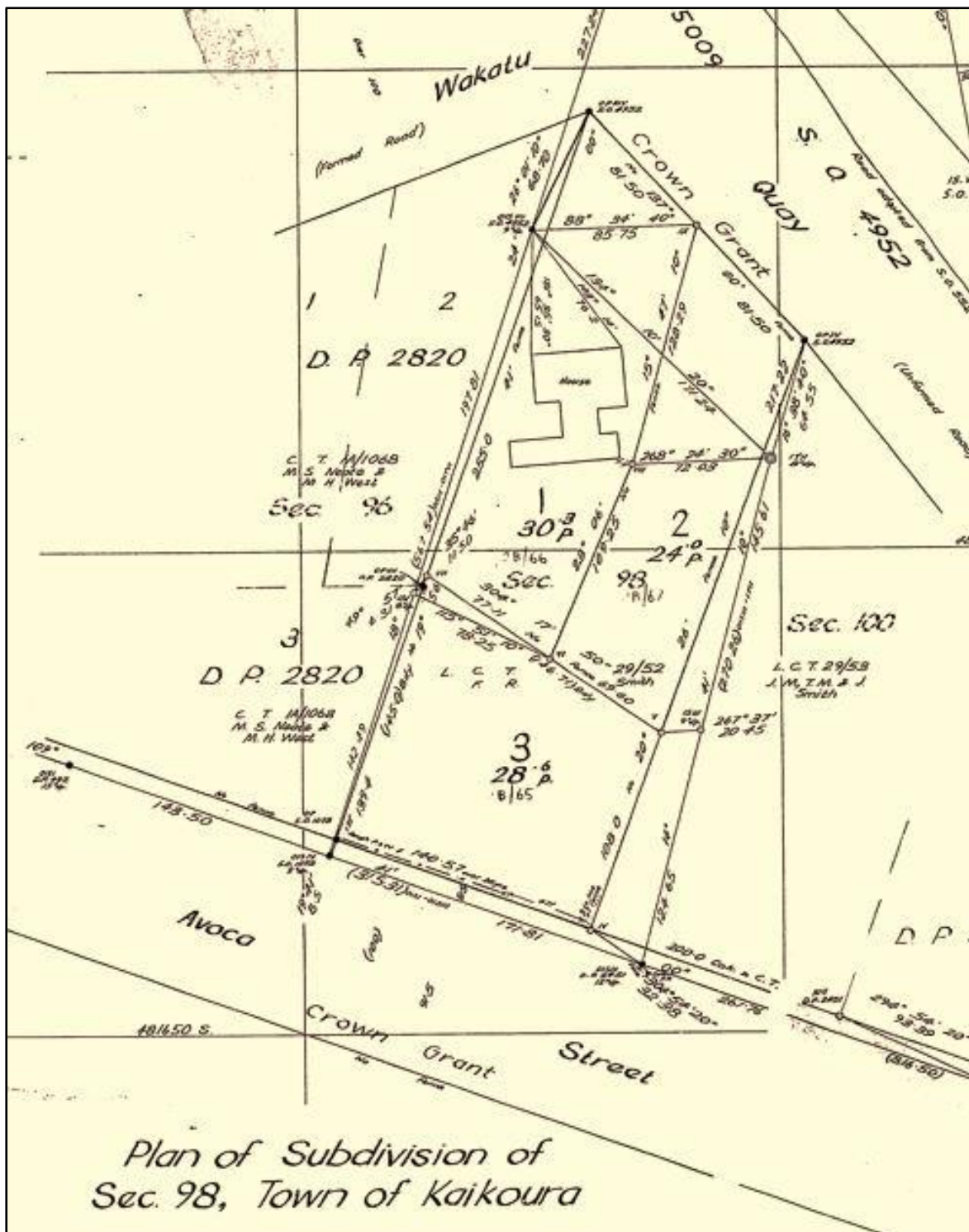


Figure 5. Detail of survey plan DP 3886 dated 1971 showing subdivision of Section 98 Kaikoura (retrieved from Quickmaps)



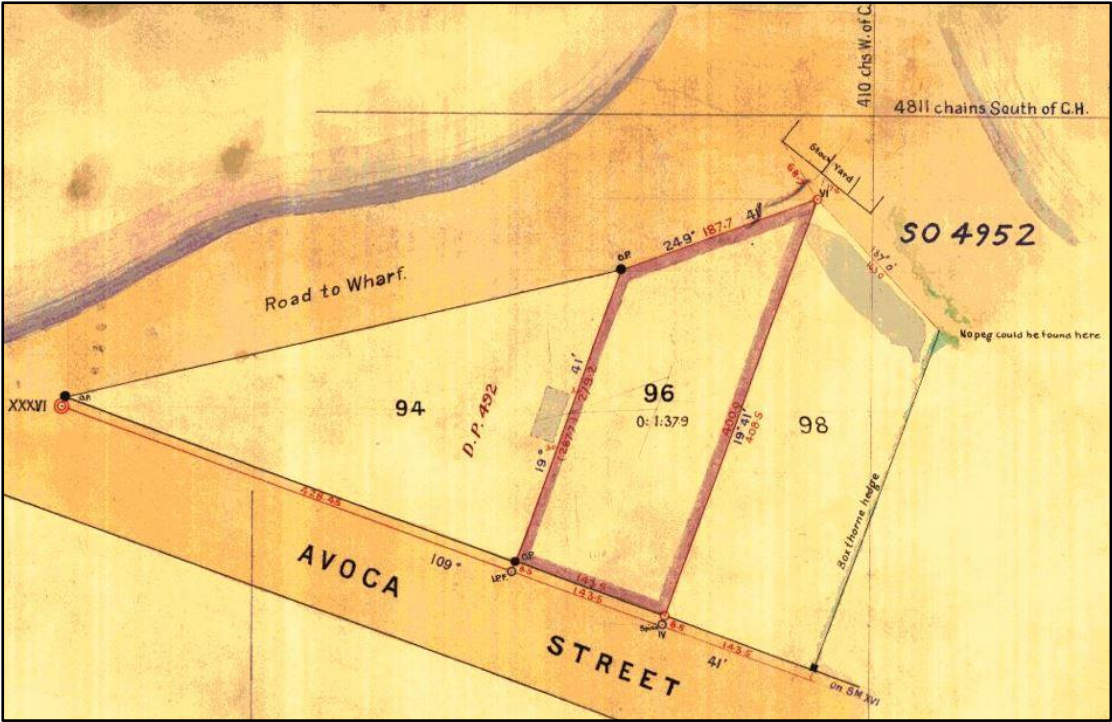


Figure 6. Detail of survey plan SO 1098 dated 1913 showing Section 98 was vacant at that time (retrieved from Quickmaps)

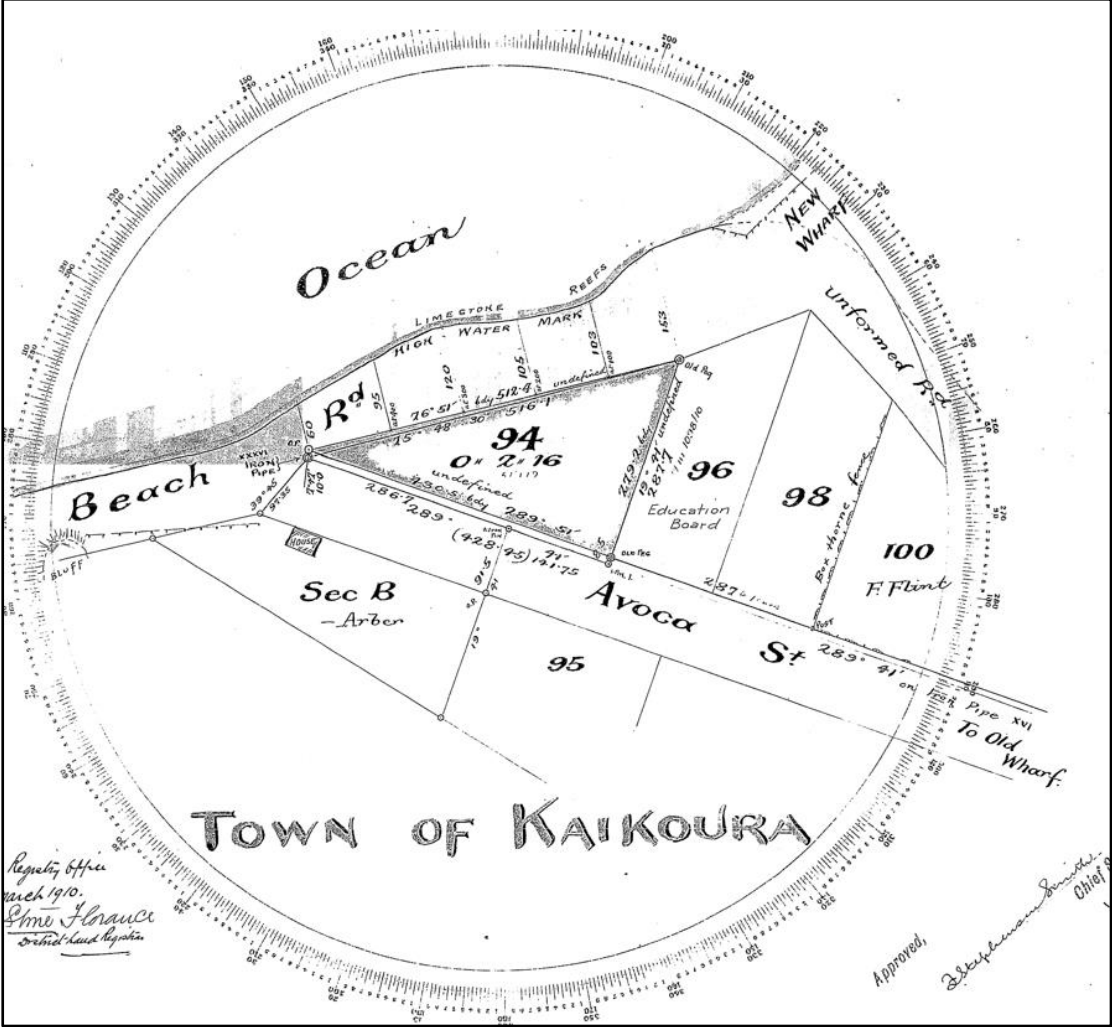


Figure 7. Detail of DP 492 dated 1910 showing Section 98 was vacant at that time (retrieved from Quickmaps)

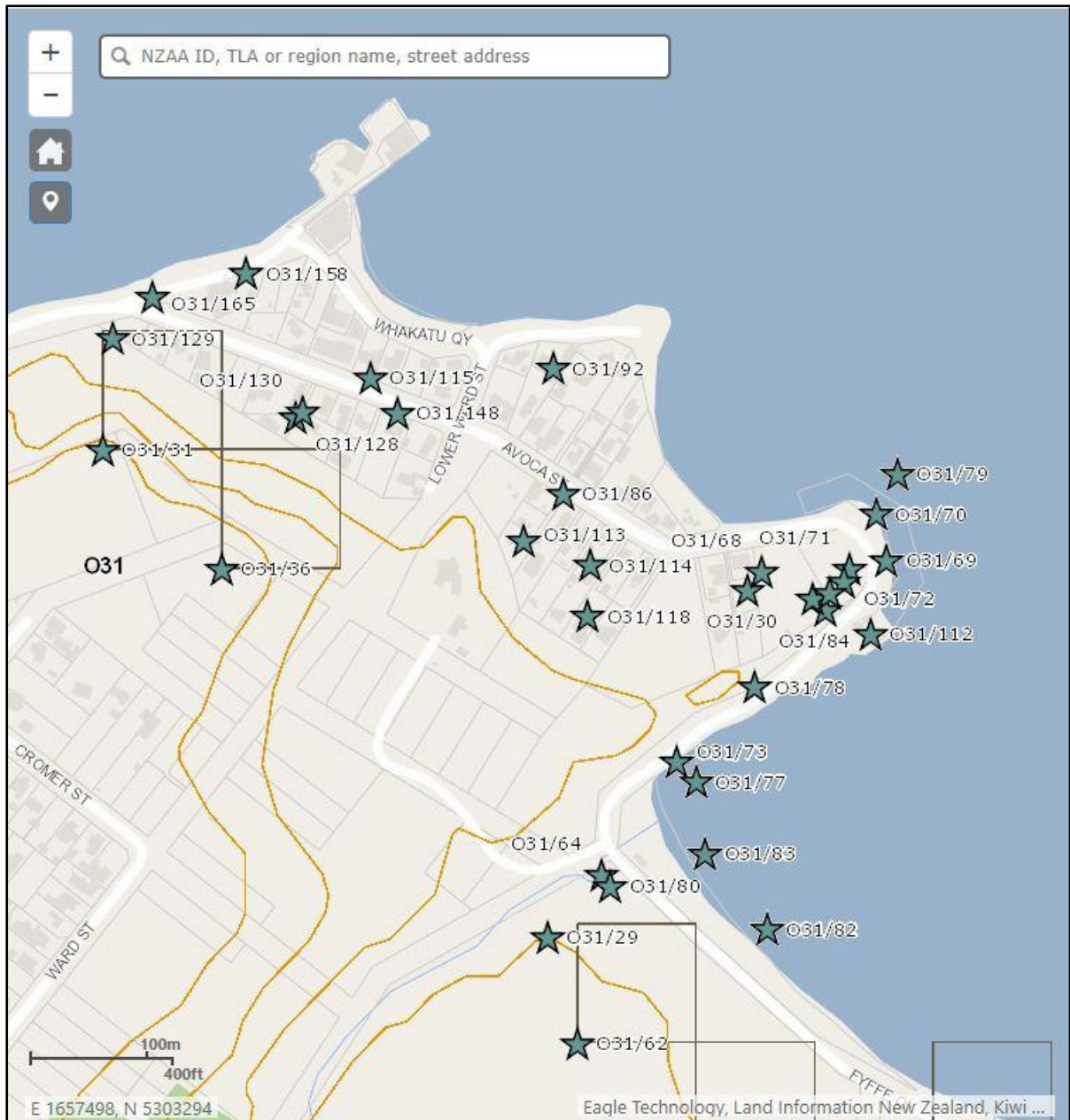


Figure 8. ArchSite map showing archaeological site locations in the area (Archsite.org.nz).





Figure 9. The subject property looking south 27/10/ 2021 (Hamish Williams photo).



Figure 10. The subject property looking south 27/10/2021 (Hamish Williams photo).



## APPENDIX A – O31/30 SITE RECORD FORM

[see overleaf]



# Site Record Form

**NZAA SITE NUMBER:** O31/30

**SITE TYPE:** Midden/Oven

**SITE NAME(s):** Fyffes Site

**DATE RECORDED:**

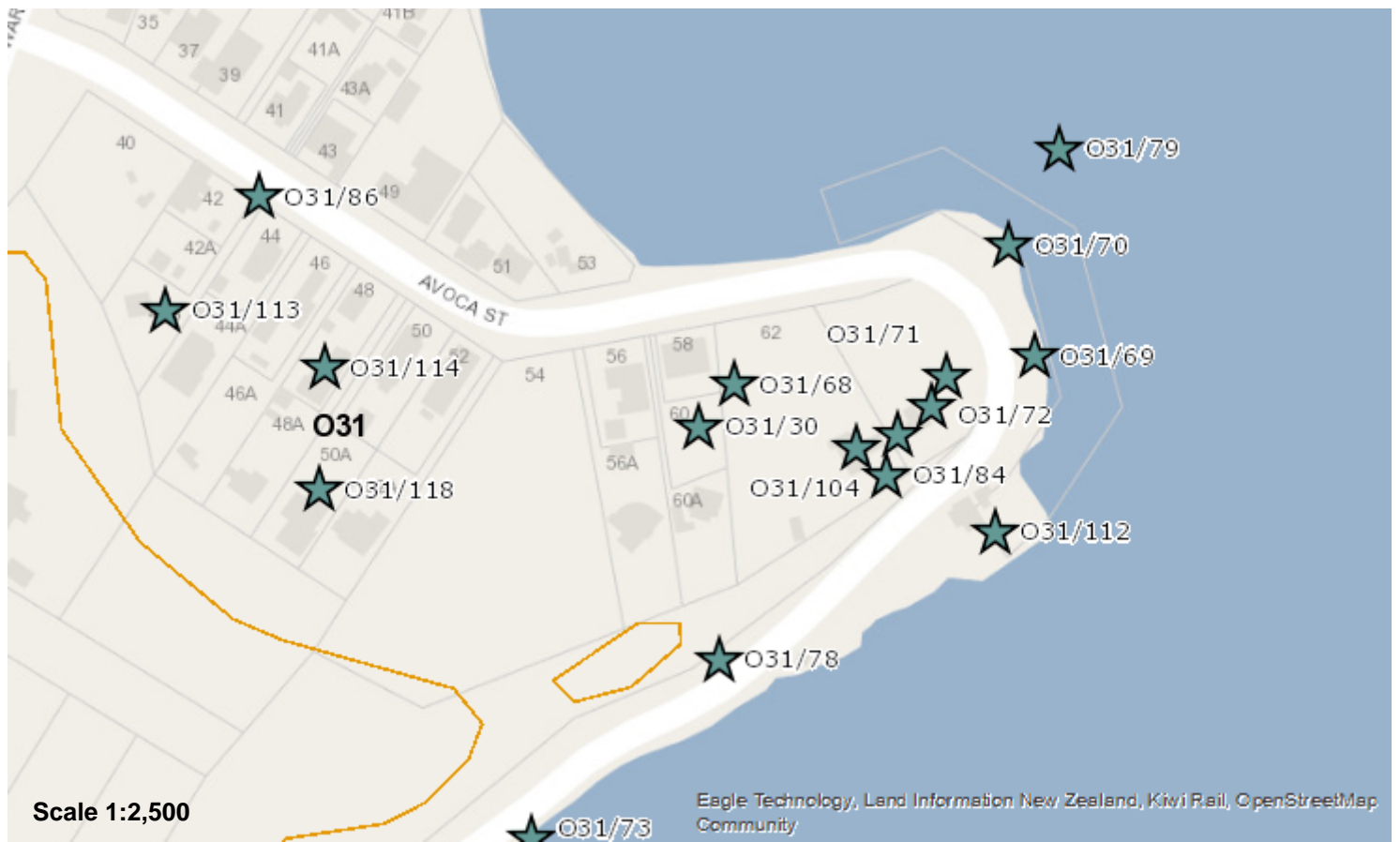
**SITE COORDINATES (NZTM) Easting:** 1658120

**Northing:** 5303715

**Source:** Site Record Form

**IMPERIAL SITE NUMBER:** S49/46

**METRIC SITE NUMBER:** O31/30



**Finding aids to the location of the site**

Flat between the northern base of Beacon Hill and Avoca Street, Kaikoura.

**Brief description**

Moa-hunter occupational deposits, garden walls, some early European material.

**Recorded features**

Artefact - adze, Artefact - chert, Artefact - fishing gear, Artefact - grindstone, Artefact - obsidian, Artefact - stone flakes, Midden, Midden with moa bone, Occupation layer, Ovenstones, Stone wall

**Other sites associated with this site**

**SITE RECORD HISTORY****NZAA SITE NUMBER:** O31/30**Site description**

Updated: 22/09/2010, Visited: 18/12/2009 - NZTM E1658120 / N5303715 (Site Record Form).

Moa-hunter deposits but with part of the area used later for gardening. Over much of the site, European features, some dating to whaling days, occur on or near the surface.

See also attached site update pdf.

Inspected by: Trotter, Michael.

**Condition of the site****Statement of condition**

Updated: 23/11/2010, Visited: 18/12/2009 - Good – Majority of visible features are intact, but some minor loss of definition and/or damage

**Current land use:****Threats:**

Updated: 23/11/2010, Visited: 18/12/2009 - Residential activities, Property development, Services/ utilities



<b>SITE RECORD INVENTORY</b>	<b>NZAA SITE NUMBER:</b> O31/30
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Supporting documentation held in ArchSite

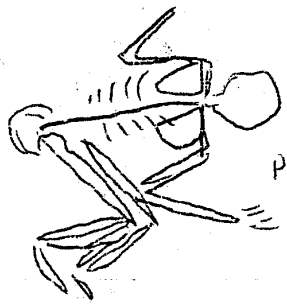
ATAK AG BB AA DD

<b>SITE REFERENCE FORM</b>		SITE NUMBER S.49/46
Map number S.49	Map name KAIKOURA	SITE TYPE OVENS BURIALS MIDDEN
Grid reference 984 900		
<p>1. Aids to relocation of site <sup>E698400 N690000</sup></p> <p>The beach side flats extending into the sea from the terrace edge of Kaikoura Peninsula, between the old wharf (at Tyffe's whaling station) and the new wharf (at the Pier Hotel)</p>		
<p>2. State of site; possibility of damage or destruction</p> <p>Much built on, garden, roaded, etc. The part most immediately apparent &amp; untouched is the paddock next to the site of Tyffe's whaling station (the old colonial house painted pink)</p>		
<p>3. Owner's <sup>Sections:</sup> Various: Mr M. Kainer; Mr J. Oliver; Mr Jorgensen; Mr George Lowe;</p> <p>Address</p> <p>Attitude</p>	<p>Tenant</p> <p>Address</p> <p>Attitude</p>	
<p>4. Name of site <u>Not known</u></p> <p>Source of name</p>		
5. Date recorded	<p>Details of investigation; methods and equipment used</p> <p>Unsystematic digging by local boys 1959. Visited, T. Tomison, locality photos taken</p>	
6. Aerial photograph numbers		Site shows: clearly/bodyly/not at all
<p>7. Reported by</p> <p>T. Tomison guided over the site by Alan Neilson* who described circumstances of the finds &amp; showed them to me.</p> <p>Date *his address is 33 Avoca St</p>	<p>Filekeeper Tomison</p> <p>Date 10.9.63</p>	

SITE DESCRIPTION '1	SITE NUMBER S.49/46
Map number S.49 Map name KAIKOURA Grid reference 984900	SITE TYPE OVENS BURIALS MIDDEN
<p>The site was first identified by the discovery, by Robert Palmer in 1859, of the first recognised "moa hunter" burial, when the foundations were being dug for Tuffell Whaling Station buildings. In 1959, just a little further N.W. on the other side of the main road, a burial was accidentally uncovered in the back yard of a Mrs M. Rainer local school boys dug round and found a second, which, from Alan Neilson's description, was trussed, lying on <del>side</del> its front. I was shown the bones: the jaw exhibited that extreme transformation typical of advanced senility. Numbers of a small type of dentatum, perhaps an ankle or bracelet were found with the burial, as well as cut sections of bird bone, &amp; a bird-bone awl. Digging next door, from Rainer's in Mrs. Oliver's, Alan Neilson found a third burial and carefully noted its context. To reach this burial - also "squatting" or trussed - he had had to dig through sub-surface moai occupation, till at a depth of 2 or 3 feet below the surface he entered a 4" to 6" layer of ash. Again, dentatum was found in association, with in this case, a</p>	

SITE DESCRIPTION : 2  Map number S. 49 Map name KAIKOUA Grid reference 984 900	SITE NUMBER S. 49/46
	O VENS MIDDEN BURIALS SITE TYPE

fishing timber a well. Alan took photos of the burial, as  
~~he did for the previous one.~~  
~~reconstructed~~ ~~the~~ position something like this:



from his descriptions of the previous  
 burial, the second one in Rainiers'.

He showed me where he, Wayne

Smith & others had dug in the grassed  
 paddock next to the foundations of the whaling station  
 building; here, he distinctly remembers a zone of barren  
 accumulation between a sub-surface occupation layer,  
 and a layer yielding moa-bone midden. They had also  
 been digging in a Mr. Geo. Jones' property, close to  
 the paddock & (we) were able to see typically "Moa-  
 hunter" midden: moa-bone, oven stones, etc. A  
 Mr. Jorgensen, said Alan, had found 2 large arges  
 on his section at the end of the beach-road out across  
 the flat.

The particular part of the flat defined by all  
 these discoveries is the south-eastern half, from  
 the reefs which point out mid way along it, across  
 various sections (map ref. 984/900) to Tuffes  
 station (map ref. 984/898) - see w/p photo on next sheet



PUBLICATION REFERENCES		SITE NUMBER S.49/46
Map number	S.49	SITE TYPE OVENS BURIALS MIDDEN
Map name	KAIKOURA	
Grid reference	984-900	
<p>The following pertain to the archaeological manifestations of the site, mainly to the 1859 burial discovery</p> <p>Roger Duff, "THE MOA HUNTED PERIOD OF MAORI CULTURE"</p> <p>W. G. Pley, "KAIKOURA COAST" Whitcomb &amp; Tombs</p> <p>T. Jamison, "Site Survey of Kairourua Peninsula" in the N.Z. Arch. Assn's "NEWSLETTER" for December 1959 (V.1.3; No.1)</p>		

PHOTOGRAPH RECORD FORM		SITE NUMBER 549/46		
Map number 549 Map name KAHOVUA Grid reference 984 900		SITE TYPE OVENS MIDDLE BURIALS		
Photo no.	Photograph shows:	Negatives held	Neg: size	Date taken
1	From terrace-edge above: looking down on Ohior & Rowed sections	FOMISON	2 1/2 X 2 1/2	25.11.59
2	From terrace-edge above: paddock at Fyffe's whaling station	"	"	"

S49/46

984900

OVENS/MIDDEN/BURIALS

REFERENCE

TROTTER, M.M. (1980) "Archaeological Investigations at  
Avoca Point, Kaikoura"  
Rec. Cant. Mus. 9 (4): 277-288

McFadgen, B.G. (1987) "Beach ridges, breakers and bones:  
late Holocene geology and archaeology  
of the Fyffe site, S49/46, Kaikoura  
Peninsula, New Zealand"  
J. Royal Soc. N.Z. 17 (4): 381-394



031/30  
549/46HIS:025  
SB:MAM

26 July 1990

TELECOM CABLE TRENCH - FYFFE HOUSE - KAIKOURAReport on Archaeological Observations - 16 July 1990

30 As requested in the Authority to Modify an Archaeological Site No. 1990/29, I attended the trenching across 031/46 as observing archaeologist. Michael Trotter was unfortunately not able to be present due to unexpected commitments at Canterbury Museum.

Telecom staff under the supervision of Ken Gray, dug a 200 millimetre wide by approximately 400 millimetre deep trench along the line, shown on the attached map. The trenching was done down the slope of the section commencing at the power pole to the north of the house, finishing on the road by the gate.

Observations:

From the northern power pole to the stormwater drain the trench cut into a brown loam with sparse flecks of charcoal. Oyster (12) and cockle (2) shells, some sawn mutton bone and a shard of china with brown transfer pattern were recovered in the 11 metre length of trench between the pole and the water pipe. Between the water pipe and fence corner, only occasional pieces of unidentified bone were exposed.

Seven metres below the fence the digger cut through a small dump of european refuse including: a horseshoe, various fragments of earthenware, bottle glass, brick etc.

Beyond the stormwater drain at the foot of the slope, the soil becomes much more rocky with some charcoal until 14 metres beyond the fence corner the soil became quite black with fine charcoal. There was no shell, bone or artefacts uncovered. The black area continues for 2.5 metres when it stops against a limestone reef just below the surface of the ground. Ten metres beyond the reef the soil continues quite black with blocky lumps of limestone. Very occasional cockle shells were exposed.

From this point to near the drive entrance, the rocky soil is brown approximately 300 millimetres in depth and overlying a cream coarse beach sand with small broken shell fragments. This probably represents an old beach surface.

USE443  
031/30  
(549/46)

2

The final three metres of trenching was not observed due to the digger dropping its chain. However, because this was an area where the drive had been bulldozed, it was felt there was little likelihood of anything of significance being uncovered.

**Conclusions:**

It appears from the material exposed in the shallow trench that this surface 400 millimetres of soil is considerably disturbed and corresponds with Denise Harris's understanding that the area had been ploughed or gardened in the past.

All the artefactual material recovered is of post-european origin. The black soil either side of the limestone reef gave no clues as to its origins, but is consistent with the heavily charcoaled soils found associated with prehistoric occupation.

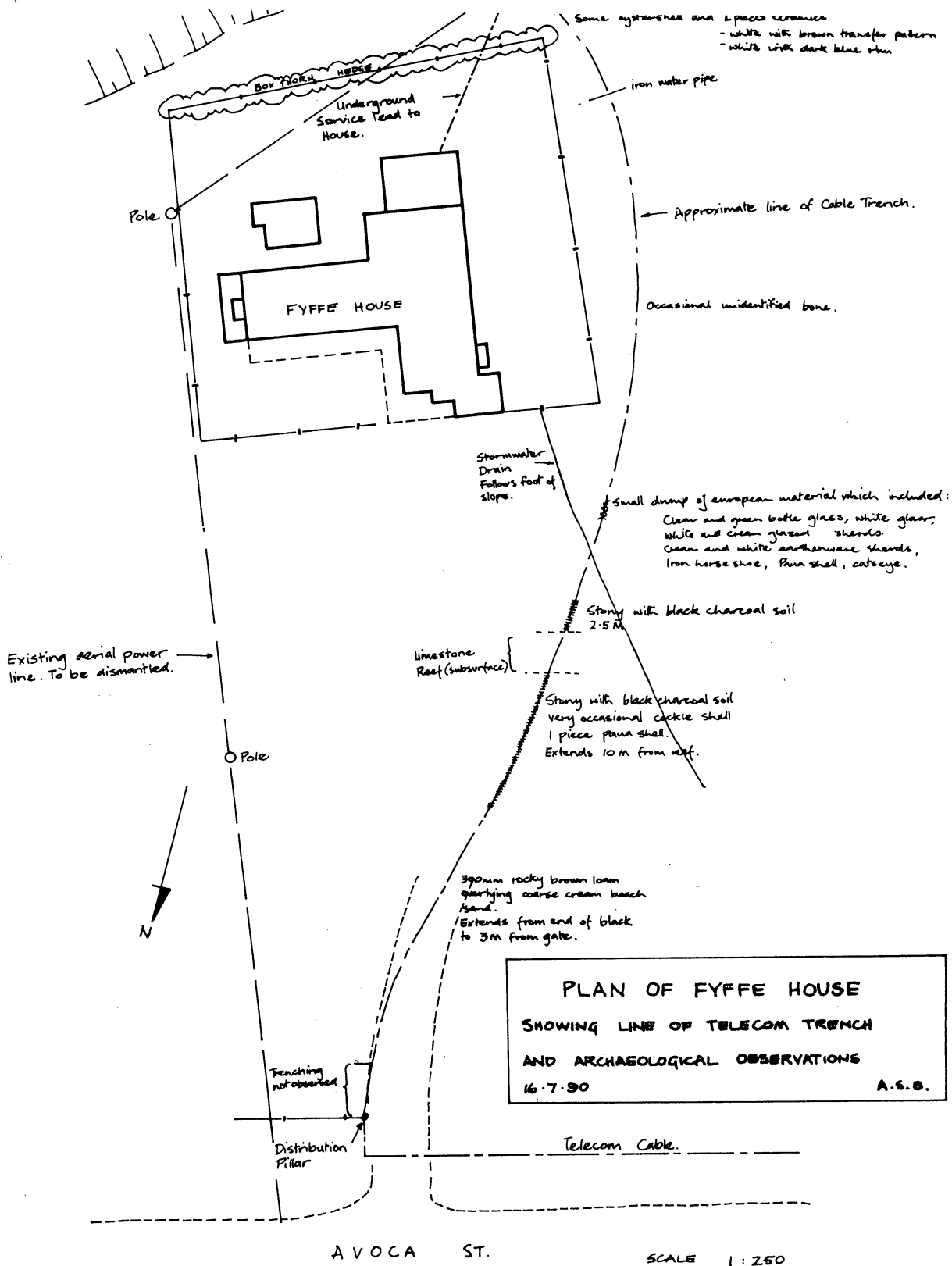
The shell, bone, glass, ceramics and metal recovered have been retained at Fyffe House.

The co-operation of Ken Gray and the Telecom crew was much appreciated as was Denise Harris' hospitality.



**Steve Bagley**  
**CONSERVATION OFFICER**  
**(Historic Resources)**

Encl





update

<b>NEW ZEALAND ARCHAEOLOGICAL ASSOCIATION</b> <b>SITE RECORD FORM (NZMS 260)</b>		<b>Site Number</b> O31/30 [S49/46]
<b>Map Number</b> O31 <b>Map Name</b> KAIKOURA <b>Map Edition</b> 1989	<b>Date Visited</b> 10.09.1963 <b>Site Type</b> OVENS/BURIALS/MIDDEN <b>Site Name</b> Fyffe's	
<b>Grid Reference</b>	<b>Easting</b> 2568100 <b>Northing</b> 5865400 [ O31/681 654 ]	
<b>1. Location</b>	The beach-side flat extending into the sea from the terrace edge of Kaikoura Peninsula, between the old wharf (at Fyffe's whaling station) and the new wharf (at the Pier Hotel).	
<b>2. State</b>	Excavated	
<b>3. Description</b>	The Fyffe moa-hunter site. Excavations by Canterbury Museum in January 1973 and at various times, under the direction of Beverley McCulloch, over the period 1982-1987. See material filed with S49/46 for details. Canterbury Museum Human Bone Collection nos SK 493 and 494 are from this site.  August 1999: Metric grid reference corrected from 681 653 (Trotter & McCulloch).	
<b>4. Owner</b> <b>Address</b>	Various	
<b>5. Nature of Information</b> <b>Photographs</b> <b>Aerial photographs</b>	Visit/excavations Canterbury Museum	
<b>6. Reported by</b> <b>Address</b>	Tony Fomison Canterbury Museum	<b>Filekeeper</b> Tony Fomison <b>File Date</b> 10.09.1963
<b>7. Key words</b>		
<b>8. New Zealand Register of Archaeological Sites (for office use)</b> <b>NZHPT Site Field Code</b>		
<b>Latitude S</b>	<b>Longitude E</b>	
<b>Type of site</b>	<b>Present condition and future danger of destruction</b>	
<b>Local environment</b>	<b>Security code</b>	
<b>Land classification</b>	<b>Local body</b>	



## Update of NZAA Site Number: **O31/30**

**SITE TYPE:** Maori occupation  
**SITE NAME:** Fyffe's Site  
**DATE RECORDED:** 1963  
**DATE OF THIS UPDATE:** 15 September 2010

**SITE COORDINATES (NZTM):** Easting: 1658120 Northing: 5303715

**Source of location data:** All converted from NZMG on Fyffe House Aerial Plan 2174 (1990)

**Field visit date:** Numerous visits between 1973 and 2009 **Visited by:** Michael Trotter

### Finding aids to the location of the site:

Flat between the northern base of Beacon Hill and Avoca Street, Kaikoura.

### Site history:

This site was originally recorded in 1963 (then S49/46) by Tony Fomison as ovens, burials and midden discovered between 1859 [sic] and 1959 on "The beach-side flat extending into the sea from the terrace-edge of Kaikoura Peninsula, between the old wharf (at Fyffe's whaling station) and the new wharf (at the Pier Hotel)." This covers an area over 600 metres long by up to 150 metres wide.

Since the 1980s, however, it has become customary to restrict the site number to the flat immediately north of Beacon Hill (see plan on next page), and more recently features to the north-west have been given separate site numbers, particularly O31/92. A number of European features in the vicinity have also been recorded separately in the Fyffe Historic Area (see *The Fyffe Historic Precinct, Kaikoura* by Michael Trotter and Beverley McCulloch, Canterbury Museum 1991). These are marked on the accompanying plan.

The earliest archaeological discovery in this area, a moa-hunter burial found at Fyffe House in 1857, has been discussed by Michael Trotter and Beverley McCulloch in "Fyffe's Revisited" in *Records of the Canterbury Museum* 10(7): 84–91, 1993. This burial would have been at about 1658177 by 5303693.

Although a western portion of the site (between about 1658042 by 5303700 and 1658083 by 5303689) was investigated by Michael Trotter in 1973, the main work was salvage excavations carried out by Beverley McCulloch in 1980s – see her reports to the New Zealand Historic Places Trust on the Fyffe's Site for 1983, 1985, 1986 and 1987. (See also *Unearthing New Zealand* by Michael Trotter and Beverley McCulloch, Government Printing Office, Wellington, 1989, pages 19-21.)

These excavations showed that Moa-hunter deposits continued at least as far east as 1658125 by 5303710. Part of the area appeared to have been used later for gardening – there were two earth and stone walls, at 1658097 by 5303720 to 1658122 by 5303725, and from 1658120 by 5303703 to 1658117 by 5303723. Over much of the site, European features, some dating to whaling days, occurred on or near the surface

### List of visible archaeological features:

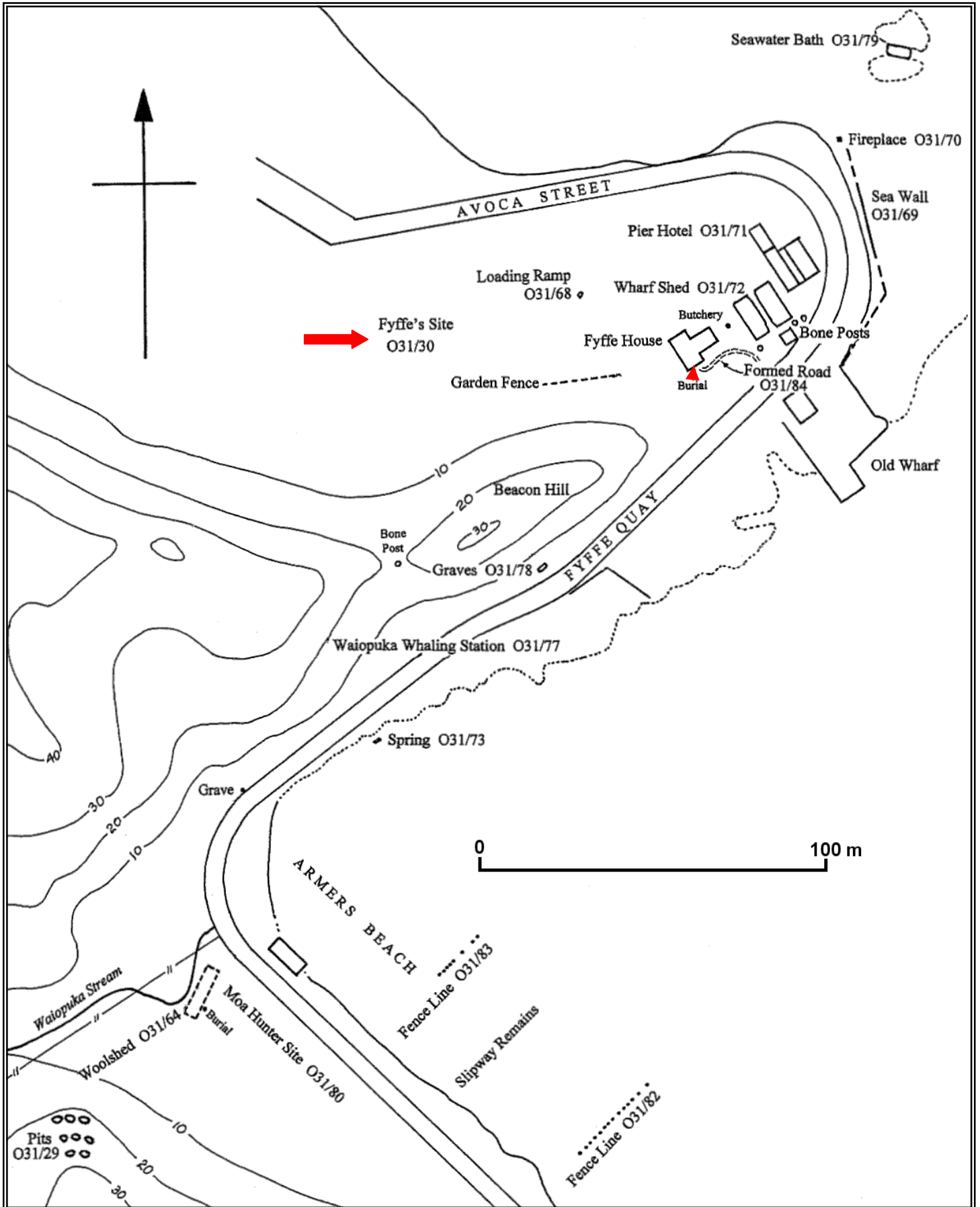
Garden walls.

### Condition of site:

Main site partially excavated but otherwise good. Walls largely excavated.

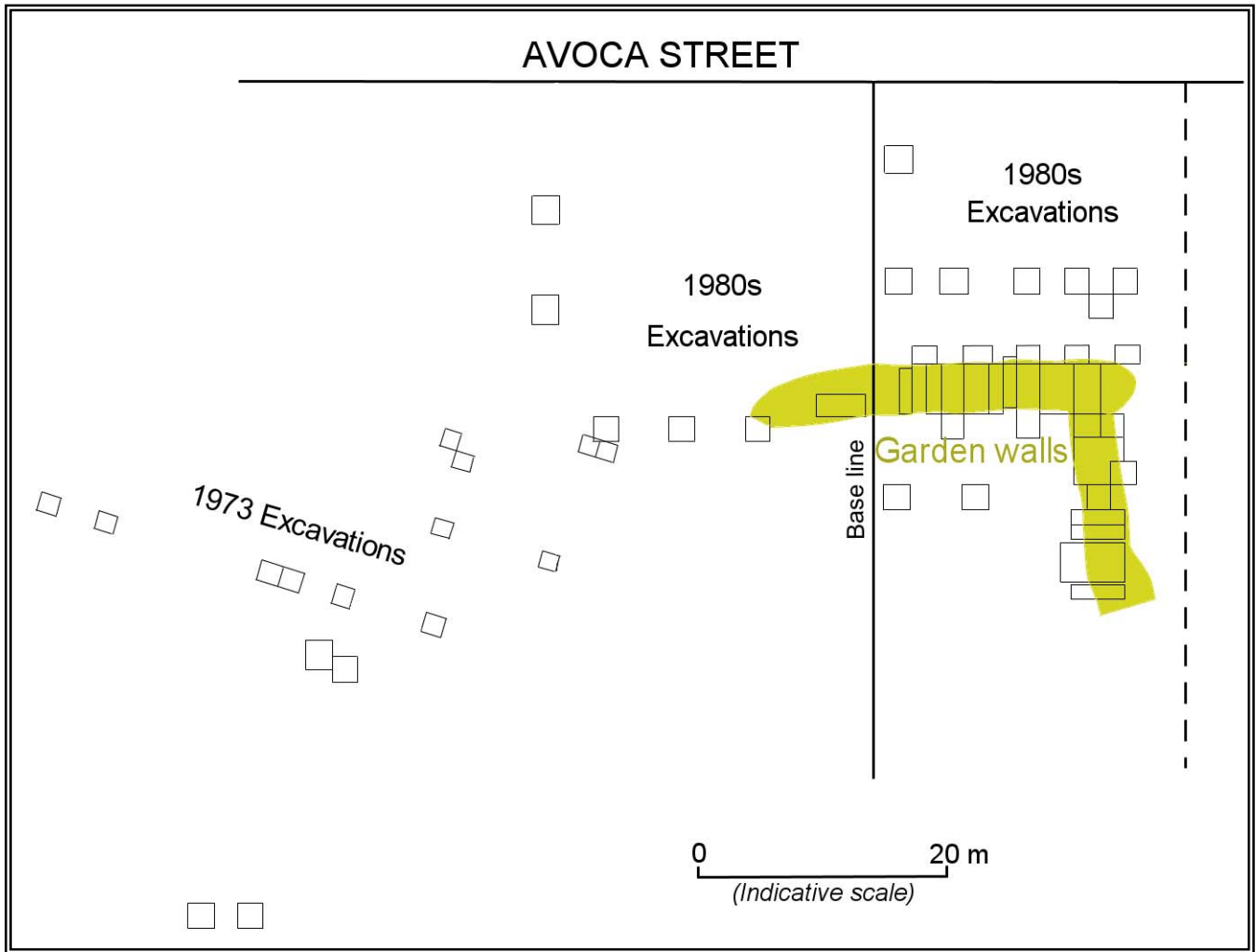
### Update submitted by:

Michael Trotter, Tuahiwi North Canterbury.



*Plan of Fyffes Historic Area, Kaikoura, showing the location of site O31/30 – the “Fyffe’s Site.” The contour interval is ten metres.*





*Sketch plan of principal excavations at Site O31/30. Note that scale is approximate only. During the 1980s salvage excavations were undertaken, largely on the garden walls, as it was understood that the property would be levelled and built on. To delay the destruction of archaeological features, the section containing the bulk of the walls was for a time acquired by the Canterbury Museum. All excavated material is held by the Museum.*



*Above: Section through north-south garden wall.  
Right: Placed stones at the base of the wall.*